



City of Arts & Innovation

COMMUNITY DEVELOPMENT DEPARTMENT

Planning Division

CERTIFICATE OF APPROPRIATENESS

AGENDA ITEM NO.: 1

WARD: 3

CULTURAL HERITAGE BOARD HEARING DATE: August 20, 2014

I. CASE NUMBER(S): P14-0360

II. PROJECT SUMMARY:

- 1) **Proposal:** Proposed Certificate of Appropriateness for construction of a new 1,400 square foot, single story single family residence with a 441 square foot detached garage within the Palm Heights Historic District on a vacant, formerly developed lot within the R-1-7000-CR (Single Family Residential, Cultural Resources Overlay) Zone and Palm Heights Historic District.
- 2) **Location:** 4570 Sunnyside Drive, located 480 feet west of Palm Avenue.
- 3) **Applicant:** Cleve Stevens, Riverside Housing Development Corporation
3985 University Avenue
Riverside, CA 92501
- 4) **Case Planner:** Teri Delcamp, Historic Preservation Senior Planner
(951) 826-2117
tdelcamp@riversideca.gov

III. RECOMMENDATION:

That the Cultural Heritage Board:

1. **DETERMINE** that Planning Case P14-0360 constitutes a project that is consistent with the Secretary of the Interior's Standards for the Treatment of Historic Properties, which is categorically exempt from the provisions of the California Environmental Quality Act (CEQA) per Section 15331 of the CEQA Guidelines; and
2. **APPROVE** Planning Case P14-0360 based on the findings outlined in the staff report and summarized below, and subject to the attached conditions, thereby issuing a Certificate of Appropriateness for the project:

FACTS FOR FINDINGS: (From Section 20.25.050 of the Riverside Municipal Code)

The Board and Historic Preservation Officer shall make findings of the following standards when applicable to approving or denying a Certificate of Appropriateness.

FINDINGS: The application proposal is consistent or compatible with the architectural period and the character-defining elements of the historic building.

FACTS: The project complies with this finding. There is no existing building on the project site, and the adjacent home that once extended onto the project site, is a non-contributor to the Palm Heights Historic District (PHHD).

FINDINGS: The application proposal is compatible with existing adjacent or nearby Cultural Resources and their character-defining elements.

FACTS: As conditioned, the project complies with this finding. Prior to 2013, the home on the adjacent lot at 4578 Sunnyside was larger and extended across the property line onto the subject lot. That home was built in 1946 and is a non-contributor to the Palm Heights Historic District (PHHD). The Housing Authority acquired the home on both lots, demolished the portion of the home on the subject lot, and refinished the remaining home on the adjacent lot for aesthetic and development standard purposes. Through a competitive RFP process, the project site was acquired by the Riverside Housing Development Corporation for development. The project proposes to construct a new single story, single family home utilizing traditional massing and materials but in a modern rendition. The style, size and massing of the home, as well as the provision of a detached garage to the rear of the home, are compatible with the architectural period of the PHHD.

FINDINGS: The colors, textures, materials, fenestration, decorative features and details, height, scale, massing and methods of construction proposed are consistent with the period and/or compatible with adjacent Cultural Resources.

FACTS: As conditioned, the project complies with this finding. The new home will be a non-contributor due to its construction date. As conditioned, the colors, textures, materials, windows, decorative features and details, height, scale and massing are all consistent and compatible with the surrounding PHHD.

FINDINGS: The proposed change does not adversely affect the context considering the following factors: grading; site development; orientation of buildings; off-street parking; landscaping; signs; street furniture; public areas; relationship of the project to its surroundings.

FACTS: As conditioned, the project complies with this finding. The site will be developed with a new, single story home with front and side setbacks similar to those in the surrounding neighborhood. The site and landscape plans for the development, and the orientation and layout of the home and detached garage, will ensure the new home does not adversely affect relationships with the surrounding Historic District.

FINDINGS: The proposed change does not adversely affect an important architectural, historical, cultural or archaeological feature or features.

FACTS: The project complies with this finding. The project will not adversely affect any important architectural, historical, cultural or archaeological feature or features.

FINDINGS: The project is consistent with the Citywide Residential Historic District Design Guidelines and the separate guidelines for each Historic District.

FACTS: As conditioned, the project complies with this finding. The project complies with Chapter 9, Design Guidelines for Infill Construction in Historic Districts, as well as the Design Guidelines developed for the PHHD. Specifically, the home will be placed on the lot to harmonize with historic setbacks on the street, with parking located to the rear; the home will be single story consistent with most homes on Sunnyside Drive; its primary façade and entrance is oriented to the street and includes the use of a covered porch; the roof form echoes those of other historic homes in the area; window sizes and materials are similar to historic windows in the surrounding Historic District; architectural details echo but do not necessarily imitate details on surrounding historic homes; and proposed materials are similar to those used traditionally on historic homes in the area.

FINDINGS: The project is consistent with the Principles of the Secretary of the Interior's Standards for the Treatment of Historic Properties.

FACTS: As conditioned, the project complies with this finding. The project comprises a Rehabilitation project as the addition of a new home within a historic district. The Rehabilitation standards and guidelines are related to the setting of the PHHD that surrounds the new home. The project will retain the overall historic relationships and character along Sunnyside Drive and within the broader PHHD. The project will also retain the existing driveway approach, historic sidewalk and mature parkway tree associated with the site. The home is scaled and designed to be consistent with the development patterns in the historic neighborhood, and will be architecturally modern but compatible with existing historic homes in the Historic District.

IV. BACKGROUND/HISTORY:

The subject property is now a vacant parcel at 4570 Sunnyside Drive, adjacent to 4578 Sunnyside Drive. The subject property was always a separate lot, but the home on the adjacent lot that was built in 1946 originally extended across the property line onto the subject parcel. The subject property is located in the Palm Heights Historic District (PHHD). The PHHD was established by the City Council on July 8, 2008 (Planning Case P05-1237). This District is roughly bounded by Merrill Avenue to the north, Brockton Avenue to the east, Central Avenue to the south, and Arch Way to the west. The District includes 289 properties, of which 253 were determined to be contributors and 36 were determined to be non-contributors. Contributing properties are those that display a good to high level of architectural integrity and were constructed within the period of significance (1923-1941). Of the 36 that were determined to be non-contributors, 29 were excluded from inclusion in the District because their date of construction fell outside the period of significance and 7 were excluded because major alterations contributed to the loss of their historic integrity. The home that formerly straddled

both the subject lot and the adjacent lot was determined to be a non-contributor due to its 1946 construction date outside the period of significance, and extensive unpermitted alterations.

In accordance with Title 20, major modifications to non-contributors and new construction within historic districts are subject to the review and approval of the Cultural Heritage Board (CHB). In 2011, the City Housing Authority submitted a Certificate of Appropriateness (COA) request to allow demolition of the portion of the adjacent house that encroached onto the subject parcel. The request was approved on June 15, 2011 (P11-0260). Essentially the garage, a portion of the adjacent home and a 1,329 square foot second dwelling unit in the rear of the subject lot were demolished. The work was completed in June 2012 (permit 11-3218). The adjacent home was repaired and patched to match, and a new detached garage was built in the rear portion of that lot in August 2012 (permit 11-3583). The only improvements remaining with the subject property include the historic sidewalk, an approximately twelve foot wide driveway approach that led to the former two car garage, and a mature street tree in the parkway.

A condition of the prior approval alerted future applicants to the fact that any proposed single-family residence at 4570 Sunnyside Drive would require a COA. The new home would need to comply with the Citywide Residential Historic District Design Guidelines, Title 19 and Title 20. The Housing Authority selected the Riverside Housing Development Corporation to develop a new home on the lot through a competitive Request for Proposal process in 2013. The intent is for the home to be a moderate income first-time homebuyer property.

V. DETAILED PROJECT DESCRIPTION:

The project consists of a new, single story 1,400 square foot single family residence with a 441 square foot detached garage in the rear portion of the lot. The design of the home is essentially Minimal Traditional with some Craftsman style elements. The PHHD as a whole contains an eclectic variety of home styles, primarily Tudor Revival and Spanish Colonial Revival but also including Craftsman, Ranch and Minimal Traditional styles. The homes on Sunnyside in particular include mostly Ranch and Minimal Traditional style homes. Minimal Traditional is a style that developed as a direct result of the minimum threshold in space and amenities required by the Federal Housing Administration (FHA). It is a compromise style that reflects the forms of Revival and traditional styles without the decorative detailing. Houses in this style are typically one story in height and demonstrate an economy of materials and design with lower roof pitches, narrower eaves and relatively small footprints. Garages were often detached in the rear of the home.

The proposed single family residence will comprise approximately 1,400 square feet in a single story volume on a square plan. The style is compatible with the Minimal Traditional, Tudor and Ranch style homes found along both sides of Sunnyside near the project site. Most of the surrounding homes are clad in stucco; the provision of some Craftsman detailing on the proposed home provides visual interest while still not adding significantly to construction costs. The roof is a medium pitched hipped roof covered in asphalt composition shingles with clipped eaves. A gabled porch occurs over the entry, with what appears to be vertical siding or venting lath above the beam, supported by battered posts on capped stucco bases (an earlier iteration had contemplated a stone veneer on the bases). Walls will be clad in stucco. Windows on the front of the home and the forward area of the west elevation are single hung sashes; primarily sliding windows and a patio door occur elsewhere. (Again, an earlier iteration had contemplated eight-over-one sashes on the front elevation.) The solid front door is proposed to be flanked by glazed

sidelights. The home will be approximately 16 feet in height. The detached garage in the rear of the lot is proposed to be built to City standard plan, with a medium pitched gabled roof, louvered vent and paneled roll-up metal garage door. Colors for the home include a light yellow toned stucco (La Habra “Meadowbrook”), white trim (Dunn Edwards “Whisper White”), and a grey (Elk “Weatherwood”) composition shingle roof. Conditions address the material and colors for the siding/lath in the porch gable, the porch piers, the garage and the concrete of the driveway. In addition, conditions specify which windows need to be wood sash (also an issue that is discussed later in this report), suggest multi-pane upper sashes on the front elevation, and elimination of the proposed sidelights to achieve a more historically compatible appearance with the surrounding historic district.

The site plan makes use of the existing driveway approach, with the driveway curving to the right of the home to access the garage. Front yard landscape consists of turf, deer grass (*Muhlenbergia rigens*) at the home’s foundation, and planter areas with deer grass and India Hawthorne shrubs. Conditions ensure the appropriate spacing and numbers of plants especially along the home’s foundation because the plan shows too few deer grass plants based on recommended spacing. A flowering tree will also be planted in the front yard that will be either a Crape Myrtle, Desert Willow or Jacaranda.

VI. LOCATION/SURROUNDING LAND USES:

	Existing Land Use	General Plan Designation	Zoning/SP Designation
Project Site	Vacant	Medium Density Residential (MDR)	Single Family Residential, Cultural Resources Overlay (R-1-7000, CR)
North	Single Family Residence (SFR)	MDR	R-1-7000, CR
East	SFR	MDR	R-1-7000, CR
South	SFR	MDR	R-1-7000, CR
West	SFR	MDR	R-1-7000, CR

VII. PROJECT ANALYSIS:

- **Compliance with section 20.25.050 of the City of Riverside Municipal Code:**

Section 20.25.050 of Title 20 in the Municipal Code outlines the findings and criteria necessary to approve a Certificate of Appropriateness. The findings are summarized earlier in this report; this section provides more particular information about some of the criteria and the project’s relationship to the PHHD.

The Sunnyside Place subdivision was recorded in the 1920s, but the majority of the homes on Sunnyside Drive were built between 1930 and 1941. One home predated the subdivision, and half a dozen homes were built before and half a dozen after the most active construction period. Construction during the 1930s and 1940s explains the predominance of the architectural styles on Sunnyside Drive that were trending toward Modern styles and away from the Period Revival styles that were more prolific in the 1920s. Most of the homes on Sunnyside have a typical 25 foot or larger front yard setback, five foot side setback on the

non-driveway side, and a driveway leading to parking at the rear of the lot on the other side. The lot configuration and pattern of development consisting of 50 foot wide lots and homes with typical five foot side setbacks (which Title 19 allows for lots less than 60 feet wide) were well established by the 1930s.

Design Guidelines specific to the PHHD were approved on May 21, 2008, and supplement the Citywide Residential Historic District Design Guidelines. Particularly relevant to this project are the PHHD guidelines to maintain similar front yard setbacks with turf, locate garages to the rear, maintain narrow driveway approaches and keep the scale of new development consistent with the district. The overall design of the home, the proposed materials as conditioned, its massing and scale, and the proposed siting and layout of the home and garage on the lot, are all consistent with the character of the PHHD as called for by the applicable Design Guidelines. As such, the project is also consistent with the Secretary of the Interior's Standards for the Treatment of Historic Properties.

One issue that has been raised by the applicant is staff's request for wood sash windows on the front and publicly visible areas of the home. Staff advised the applicant of the material to be consistent with the Citywide Residential Historic District Design Guidelines as implemented by policy of the CHB for visible facades in historic districts. (Otherwise, the Design Guidelines actually call for wood sash windows all the way around the home; this is still the policy direction for individually significant designated homes). The plans comply with staff's request, but the applicant is requesting that the CHB modify conditions to allow the use of vinyl windows throughout all of the home's elevations including the front. The CHB will note that staff is proposing a condition that would require wood sash windows on the front elevation that are multi-over-single paned, as well as wood sash for the first two windows on the west elevation next to the driveway. These four window areas will be readily seen from public views. The applicant contends that the requirement for wood sash windows adds to the project cost (about 20% more than vinyl for each window according to staff's research), and has cited several other instances of existing vinyl windows in the area. The attached photos show a variety of contributors and non-contributors, some with original windows and some with non-approved vinyl.

It could be argued that the use of wood windows is more critical for contributing structures. However, it is still important for the streetscape and appearance of all homes within a historic district to convey an appropriate character. Staff and the CHB have had some success obtaining consistency with the Guidelines for other non-contributing sites like a recently approved new home on Elmwood in Wood Streets. On the other hand, there are cases where non-contributing new homes were allowed to use vinyl, including a recent case on Franklin in the Seventh Street East Historic District. Although the Design Guidelines state that compatible materials should be used for new infill construction in historic districts, non-contributors are allowed more flexibility given they are not historic in and of themselves.

Staff will defer to the CHB's decision on the window sash material and the other conditions that staff anticipates will concern the applicant. If vinyl windows are allowed throughout and other material changes are agreed to by the CHB, then condition of approval 5.f and potentially other conditions will need to be modified with a motion to approve the project.

- **General Plan/Zoning Conformance:**

General Plan: The proposed project is consistent with the existing General Plan land use designation for the project site because it involves a single family home in a Medium Density Residential land use designation.

Zoning: The project is consistent with the development standards for the R-1-7000, Cultural Resources Overlay zone set forth in Title 19 of the Municipal Code.

VIII. PUBLIC NOTICE AND COMMENTS:

Public notices were mailed to adjacent property owners. No written comments have been received to date.

IX. EXHIBITS:

1. Location Map
2. Aerial Photograph
3. Project Plans
4. Site and Area Photographs

STANDARD AND CASE-SPECIFIC CONDITIONS

Case Number: P14-0360

Meeting Date: August 20, 2014

Standard Conditions

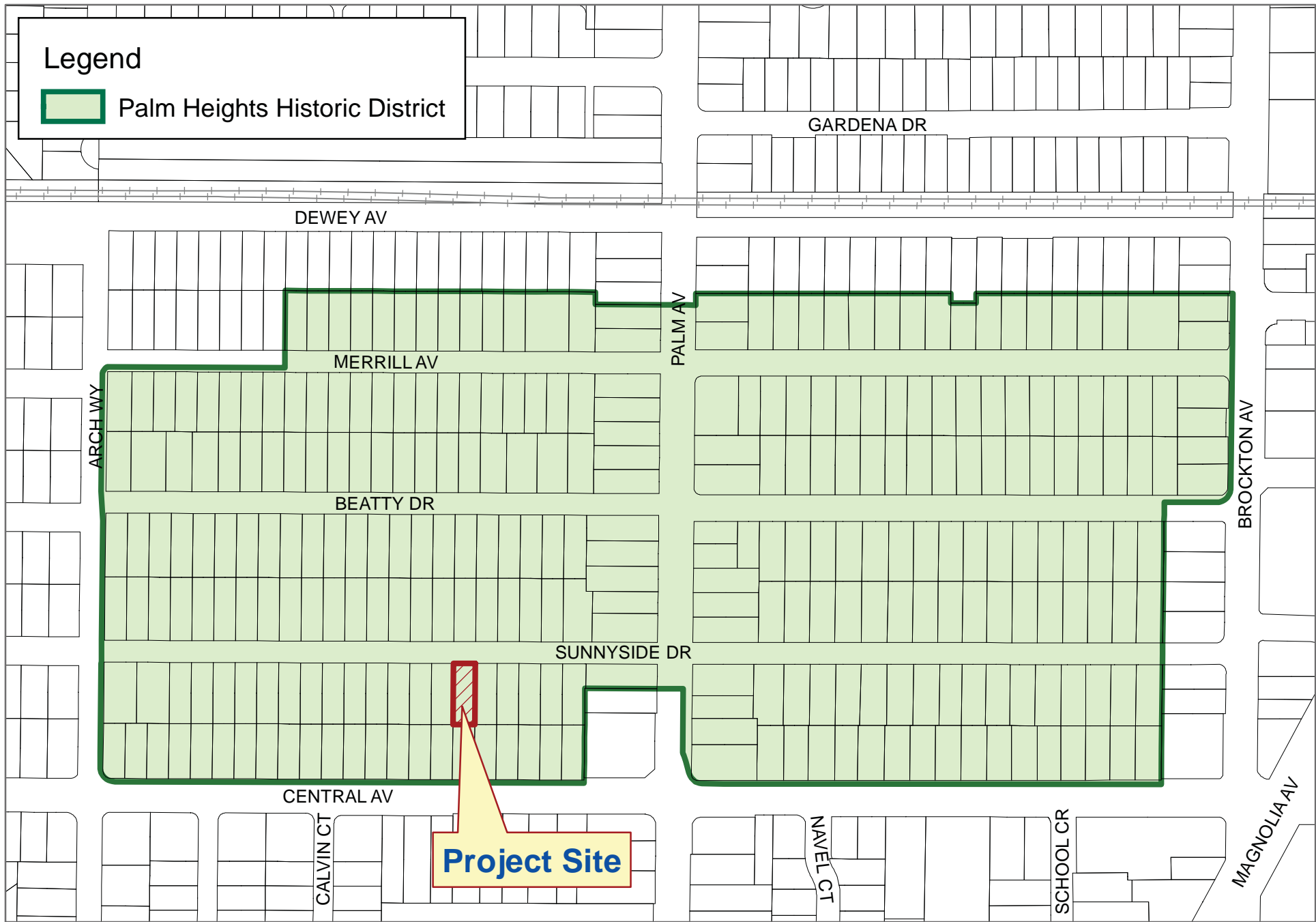
1. The project must be complete per the Cultural Heritage Board's approval, including all conditions listed below. Any subsequent changes to the project must be approved by the Cultural Heritage Board or the Cultural Heritage Board staff. Upon completion of the project, a Cultural Heritage Board staff inspection must be requested to ensure that the approved plans have been executed and that all conditions have been implemented before **UTILITIES** hold can be released.
2. Actions by the Cultural Heritage Board, including any environmental finding may be appealed. There is a ten day appeal period that will lapse at 5:00 p.m. on September 1, 2014. Appeals of the Board's action will not be accepted after this time. The appeal fee is \$1,531.20. Appeals will be considered by the Land Use Committee of the City Council at their next available meeting. Appeal processing information may be obtained from the Community Development Department, Planning Division, Public Information Section, 3rd Floor, City Hall.
3. This approval will expire in one year on August 20, 2015.
4. The granting of this request shall in no way exclude or excuse compliance with all other applicable rules and regulations in effect at the time this permit is exercised and continually thereafter.

Case-Specific

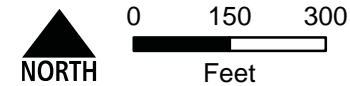
5. Prior to issuance of building permits, the applicant shall revise the building permit plan check plans to incorporate all of the following changes or submit the necessary information:
 - a. Call-out a wood material and color details and submit a paint chip for the siding/venting lath as well as the knee brace/outlookers at the front porch gable end consistent with the home's architectural style to the satisfaction of CHB staff.
 - b. Submit a manufacturer's cutsheet for a front door consistent with the home's architectural style to the satisfaction of CHB staff. Eliminate the proposed sidelights flanking the front door.
 - c. The porch piers may either be square and clad in an appropriate style stone veneer (such as ashlar or coarsed stone or brick, not ledge or stacked stone) consistent with the home's architectural style, or the assembly may be modified to be simple 6X6 wood posts from ground to porch beam, to the satisfaction of CHB staff.
 - d. The sets of paired windows on the north (front) elevation, and the first two single hung windows on the west (side) elevation are publicly visible within the Historic District, and shall be wood sash. All other windows may be vinyl or similar quality alternative material.

- e. *Advisory:* The applicant should consider changing the paired windows on the front elevation to be multi (six or eight lights)-over-single pane.
 - f. Unless otherwise approved by CHB staff, the driveway shall be gray concrete with historically appropriate scoring, without any modern finishes or added colors.
 - g. The project shall protect in place and re-use the existing driveway approach including its location, width, material and design; or if required to be relocated by Public Works, shall be re-constructed to match the existing in all these respects. The existing mature parkway tree shall be protected in place.
 - h. The garage exterior materials, details and colors shall match those of the new home. The garage door shall be of a color or painted to match the approved paint scheme.
 - i. The landscape plan shall be modified to show additional *Muhlenbergia rigens* plants to achieve a maximum spacing of two feet on center.
 - j. Show design and materials for any proposed fencing, gates and walls consistent with the home's architectural style to the satisfaction of CHB staff.
6. Prior to approval of the final inspection, the installation of the landscape and irrigation per the approved plans must be complete. Call CHB staff to schedule the final inspection at least a week prior to needing the release of utilities. Upon final inspection of landscaping, if staff finds that the amount of landscaping is insufficient, staff will require additional plants/groundcover consistent with the approved palette.
7. During all project site construction, the construction contractor shall limit all construction-related activities that would result in high noise levels to between the hours of 7:00 a.m. and 7:00 p.m., Monday through Friday and between the hours of 8:00 a.m. and 5:00 p.m. on Saturdays. No construction is permitted on Sundays or federal holidays.

G:\CHB\08-20-14\P14-0360 rtd.docx
Teri Delcamp

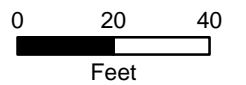


P14-0360, Exhibit 1 - Location Map

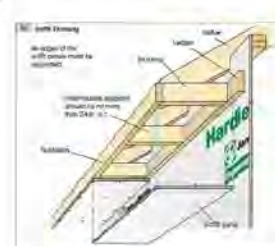
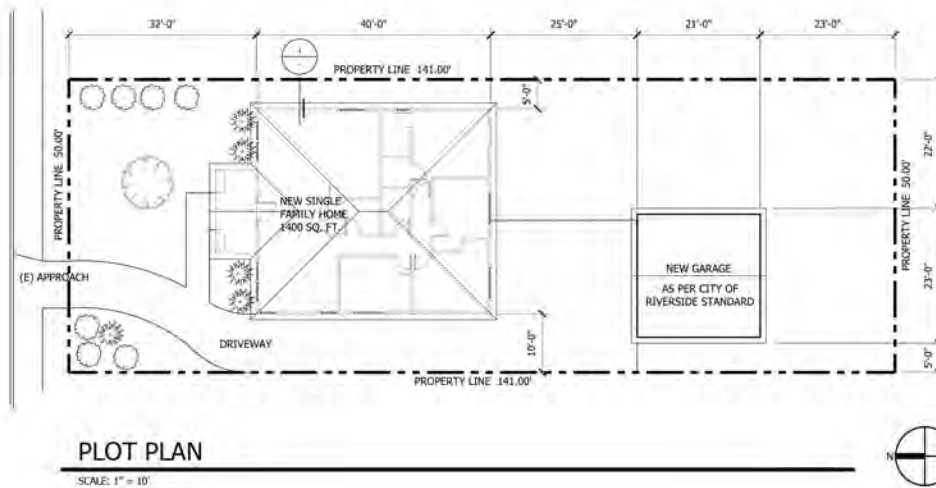




P14-0360, Exhibit 2 - 2012 Aerial Photo



Riverside Housing Development Corporation



PROVIDE HARDY SOFFIT PANEL AT ALL EAVES PROJECTIONS CLOSER THAN 5'-0" TO PROPERTY LINE, OR PROVIDE A STUCCO FIN. AT ALL EAVES CLOSER THAN 5' TO PROPERTY LINE.

Sheet Index	
SHEET	SHEET TITLE
T5	TITLE SHEET / LANDSCAPE PLAN
A1	FLOOR PLAN
A2	ELEVATIONS
A3	BUILDING SECTIONS + ROOF PLAN
A4	ELECTRICAL PLAN
A5	CITY STANDARD GARAGE PLANS
T24	ENERGY CALCULATIONS
S1	FOUNDATION PLAN
S2	FRAMING PLAN
D-1	DETAILS
D-2	DETAILS

Plan Notes

2010 CALGREEN SITE REQUIREMENTS

- CONTRACTOR SHALL IDENTIFY ALL STORM DRAINS, DRAINAGE SWALES AND CREEKS LOCATED NEAR THE CONSTRUCTION SITE, AND MAKE SURE ALL SUBCONTRACTORS ARE AWARE OF THEIR LOCATIONS TO PREVENT POLLUTANTS FROM ENTERING THEM. ALL STORM DRAIN INLETS SHALL BE PROTECTED USING FILTER FABRIC CLOTH TO PREVENT SEDIMENTS FROM ENTERING THE STORM DRAINAGE SYSTEM DURING CONSTRUCTION ACTIVITIES.
- CONTRACTOR SHALL KEEP MATERIALS OUT OF THE RAIN, AND PREVENT RUNOFF POLLUTION AT THE SOURCE. STORE HAZARDOUS WASTE IN DRUMS AND COVERED BINS AND CONTRACT A COMPANY TO DISPOSE OF IT PROPERLY.
- RECYCLING BINS AND CONTAINERS SHALL BE INSTALLED IN CONVENIENT LOCATIONS ON THE JOBSITE.
- FIRE SPRINKLER SYSTEM IS REQUIRED. A RESIDENTIAL SPRINKLER SYSTEM MEETING FIRE PROTECTION ASSOCIATION 130 IS REQUIRED. PLAN SHALL BE SUBMITTED TO AND APPROVED BY THE FIRE DEPARTMENT PRIOR TO INSTALLATION.



Xavier Hernandez
Xavier Hernandez
Principal Designer



PROJECT: **RHDC**
4570 Sunnyside Dr.
Riverside, CA 92506

rev	date	remark

Title Sheet
+ Plot Plan

TS

BUILDING MAINTENANCE AND OPERATION

- At the time of final building inspection a manual or signs making providing the following information shall be placed in the building:
 - Directions to the owner that the annual shall comply with the building.
 - Operation and maintenance instructions for all equipment and appliances.
 - Information on local utilities concerning conservation programs.
 - Public transportation and carpooling available in the area.
 - Labels on materials on the positive aspect of an interior exterior assembly between 2nd and 4th floors and how those levels may be achieved and maintained.
 - Information concerning water-conserving landscaping and irrigation designs.
 - Instructions for emergency gutters and downspouts and the importance of directing water at least 5 feet away from the foundation.
 - Information on required exterior maintenance measures, including, but not limited to caulking, painting, sealing, staining the building site.
 - Information about mold abatement and remediation programs available.
 - A copy of any special reports or commissioning reports required to verify compliance with the Green Code standards.

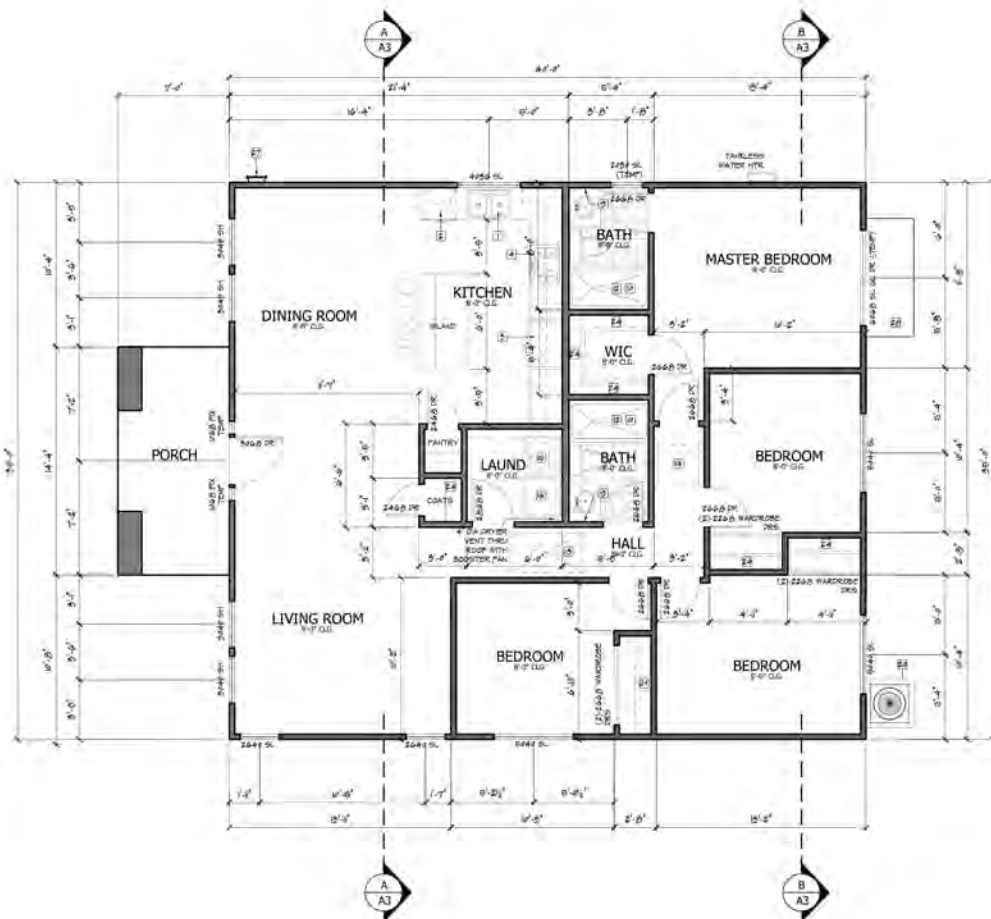
MATERIAL CONSERVATION

- Amplify specific removal pipes, electric cables, conductive when openings in plates or corners walls shall be provided system for passage of cables by closing such openings with concrete masonry or capstones methods acceptable to the Building Official.
- The Construction Waste Management Plan shall require that at least 50% of all non-hazardous construction waste generated by this project as identified in the following table to recycled and/or salvaged.

Waste Material Type	(A) Estimated weight of waste being recycled or salvaged (lb tons)	(B) Estimated weight of recycled or salvaged waste (lb tons)	(C) Projected Diversion Rate (in Percent)
Asphalt	0	0	Calculate the Projected Diversion Rate Percentage by using the following formula: $(B) \div (A) \times 100 = (C)$ NOTE: Total diversion rate shall not be less than 50%.
Concrete	07	05	
Metal	01	01	
Wood	10	0	
Insulation	0	0	
Driveway	10	10	
Cement and sand	0	0	
Cardboard and paper	02	02	
Plastics	01	01	
Glass	0	0	
Other	0	0	
TOTAL FOR ALL MATERIALS	600 LB	560 LB	560 LB

- All subcontractors shall comply with the project's Construction Waste Management Plan.
- This project shall generate the least amount of waste possible by planning and verifying carefully, following all proper storage and handling procedures to reduce, reuse and recycle materials and using materials whenever possible. Waste materials shall be stored on site prior to removal.
- All construction waste removed from the site shall be documented and said documentation shall be provided in an organized format to the relevant agency in order to verify compliance with the Construction Waste Management Plan.

Project Data	Scope Of Work	Vicinity Map
LEGAL DESCRIPTION A.P.N.: 226-291-052 LOT SIZE: .17 AC LOT / TRACT: 55 / - ZONING INFO: BUILDING ZONE: R-1-7000 CONSTRUCTION TYPE: VB OCCUPANCY: R3 / U CITY: RIVERSIDE COUNTY: RIVERSIDE PROJECT AREAS TOTAL LIVING AREA SQ. FOOTAGE: 1400 SQ. FT. TOTAL GARAGE AREA SQ. FOOTAGE: 441 SQ. FT. APPLICABLE BUILDING CODES: 2013 CALIFORNIA BUILDING CODE 2013 CALIFORNIA PLUMBING CODE 2013 CALIFORNIA RESIDENTIAL CODE 2013 CALIFORNIA ELECTRICAL CODE 2013 CALIFORNIA GREEN CODE 2013 CALIFORNIA MECHANICAL CODE	TO BUILD A NEW SINGLE FAMILY HOME WITH A DETACHED GARAGE. Contact Project Manager: Cleve Stevens 951.232.5056 Designer: Xavier Design Group 11711 Collett Ave. Riverside, CA 92505 Contact: Xavier Hernandez Tel: 951.830.2018 xavier@xavierdesigngroup.com Structural Engineer: FW-Webb Engineering Inc. 1299 Columbia Ave. Ste. E-7 Riverside, CA 92507 Tel. 951.788.2050 T24 Consultant: Xavier Design Group 11711 Collett Ave. Riverside, CA 92505 Contact: Xavier Hernandez Tel: 951.830.2018 xavier@t24consultants.net	



FLOOR PLAN

SCALE: 1/4" = 1'-0"

SHEET NOTES

- ANNULAR SPACES AROUND PIPES, ELECTRICAL CABLES, CONDUITS, OR OTHER OPENINGS IN PLUMB AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF MOISTURE BY CLOSING SUCH OPENINGS WITH CONCRETE WORKING CONCRETE MASSIVITY OR A SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY.

KEYNOTES

- DOUBLE SINK WITH GARBAGE DISPOSAL WITH AIR GAP FOR DISHWASHER.
- ENERGY STAR REFRIGERATOR WITH AIR GAP (VERIFY DIMENSIONS WITH MANUFACTURER'S SPECIFICATIONS).
- ENERGY STAR RATED REFRIGERATOR SPACE. PROVIDE RECESSED GOLF WATER DR AND SINK OFF FOR ICE MAKER.
- RANGE/COOKTOP WITH BURNING HOOD, LIGHT AND FAN (VENT TO OUTSIDE AIR).
- DOUBLE OVEN (VENT TO OUTSIDE AIR).
- OVEN SET SUPPLY FEEDER TO PLUMB THE HEARTED).
- PANTRY ACCESS TO PLUMB FOR GAS.
- SELF-CLOSING TOILET FITTING. GOLF-WOOD FLOOR WITH MIN 3/4" MIN. FIRE PROTECTION RATING. WEATHER-STRIPPING AND METAL THRESHOLD.
- RECESSED MEDICINE CABINET.
- 5/8" x 6" FIBERGLASS TUB AND SHOWER UNIT. 1/2" MIN. 1/2" HIGH GROUT PLASTER. CRACKING TILE OR APPROVED EQUAL AT WALLS. PROVIDE CONTROL VALVES TO BE PROGRAMME BALANCED OR THERMOSTATIC MIXING VALVES.
- 1/2" x 6" FIBERGLASS TUB AND SHOWER UNIT. 1/2" MIN. 1/2" HIGH GROUT PLASTER. CRACKING TILE OR APPROVED EQUAL AT WALLS. CONTROL VALVES TO BE PROGRAMME BALANCED OR THERMOSTATIC MIXING VALVES.
- WALL COVERINGS SHALL BE COMBUSTIBLE PLASTER TILE OR APPROVED EQUAL TO A HEIGHT OF NOT LESS THAN 7' ABOVE FINISH FLOOR MATERIALS OTHER THAN STRUCTURAL ELEMENTS SHALL BE MOISTURE RESISTANT GLASS ENCLOSED DOORS AND PARTIALS MUST BE LABELED CATEGORY 1. SINKS OVER OUTLETS. HOT AREA OF GARBAGE RECEPTOR SHALL BE NOT LESS THAN 1/4" x 1/4" x 1/4" OF FLOOR AREA AND ENCLOSURE A 2" x 1/4" OVER.
- PAU IN ATTIC. PROVIDE LIGHT, POWER UNRESTRICTED 2" PASSAGE. 3" WIDE WORK SPACE AND AIRSPACE AIR SUPPLY. PROVIDE COMPENSATE FROM LINE TO OUTSIDE. VENT TO OUTSIDE AND COMBUSTION AIR.
- 3/4" x 3/4" ATTIC ACCESS. MIN WITH MIN 3/4" CLEAR. FIBERGLASS FLOORING (SINGLE LIGHT). 3/4" GUTTER. MIN 2" SOLE FLOORING TO PAU.
- ENERGY STAR HORIZONTAL AND VERTICAL SPACE. PROVIDE ENCLOSED WATER AND DRAIN CONNECTIONS. PROVIDE SAFETY PAU AND DEAN AT SECOND FLOOR LOCATIONS.
- DEVICE SPACE. PROVIDE DEVICE VENT TO OUTSIDE AIR WITH BACKDRAFT EMPIRE. PROVIDE 1/2" FIRE CALLING IF FIRE PROTECTED A FIRE RAIL. 1/2" MAX LENGTH WITH MAX 2 ELBOWS.
- WATER HEATER ON A 1/2" HIGH PLATFORM WITH SOME STRAPS AIR VENT TO OUTSIDE. PROVIDE PRESSURE RELIEF VALVE WITH DEAN TO OUTSIDE AND COMBUSTION AIR.
- FIRE GAS (GAS APPLIANCE) PREPLACE BY LEAKY FOR 2 1/2" (RECT) VENT.
- OCCUPANCY SEPARATION BETWEEN GARAGE AND LIVING AREA. PROVIDE LAYER OF 6/8" TYPE 'X' GYPSUM BOARD ON GARAGE SIDE OF WALLS ADJACENT TO LIVING AREA AND AT ELEMENTS SUPPORTING SEPARATION ABOVE GARAGE. SHALL PROVIDE 2 LAYERS OF 6/8" GYPSUM BOARD APPLIED TO THE BOTTOM OF THE FLOOR OR ROOF. 'BOARDS' IF SPACING IS GREATER THAN 1/2" OC. NEAR ALL BEAMS AND SUPPORTING POSTS.
- NO CONDENSER ON WEATHERPROOF PAU. 3" ABOVE GRADE (VERIFY SIZE AND LOCATION). PROVIDE 2 1/2" WEATHERPROOF ENCLOSURE AND 1 1/2" WEATHERPROOF OUTLET WITHIN 24" OF UNIT.
- 6/8" TYPE 'X' GYPSUM BOARD AT WALLS AND CEILING AT ENCLOSED USABLE SPACE UNDER STAIRS.
- 2-1/2" x 1/2" ON SLOPPED COMBUSTION AIR VENTING. 1/2" HIGH WITHIN 2" OF CEILING AND ONE LOW WITHIN 12" OF FINISHED FLOOR.
- 3" DIAMETER PIPE COLLARS.
- PAINT GRADE WOOD OR VINYL-COATED WIRE. 1/2" DEEP SHELF AT 3/4" ABOVE FINISHED FLOOR.
- STUCCO SMOOTH EXTERIOR TO EXTERIOR ELEVATIONS FOR HEIGHTS).
- STUCCO SHELF. SLOPE TO DRAIN.
- 3/4" MIN ELECTRICAL PANEL WITH MIN 3/4" UPER SLOPING WITH DOWN TO GAS AND WATER PIPING. CONNECTIONS SHALL HAVE A MINIMUM CLEARANCE ABOVE ROOF OF NOT LESS THAN 9".
- 3/4" x 3/4" MIN CONCRETE STOP.

MAX. FLUSH VOLUMES AND FLOW RATES

WATER CLOSETS	1.6 GPM PER FLUSH
SHOWER HEADS	2.5 GPM PER MINUTE
Faucets/SINKS/BATHS	1.6 GPM PER MINUTE
KITCHEN FAUCETS	1.8 GPM PER MINUTE

XDG
 XAVIER DESIGN GROUP
 11711 COLLETT AVE. #413
 R I V E R S I D E
 CALIFORNIA 92505
 951 830 2018

Xavier Hernandez

Xavier Hernandez
 DESIGN IDEAS

WE RESERVE THE RIGHT TO DISCONTINUE OR MODIFY ANY DESIGN OR CONSTRUCTION WITHOUT NOTICE. THIS PLAN IS FOR INFORMATION ONLY AND DOES NOT CONSTITUTE A CONTRACT. THE FINAL CONTRACT SHALL BE THE CONTRACT BETWEEN THE OWNER AND THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONDITIONS AND CONDITIONS EXISTING IN THE FIELD AND SHALL VERIFY ALL CONDITIONS TO BE AS SHOWN BEFORE COMMENCING THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AGENCIES.



PROJECT: **RHDC**
 4570 Sunnyside Dr.
 Riverside, CA 92506

rev date remark

Floor Plan

A1

Xavier Hernandez
 Xavier Hernandez
 ARCHITECT

THIS DRAWING AND ALL RESPONSIBILITY AND LIABILITY FOR THE SAME SHALL BE THE SOLE RESPONSIBILITY OF THE ARCHITECT. THE ARCHITECT HAS NOT CONDUCTED A VISUAL CHECK OF THE SITE OR THE EXISTING CONDITIONS ON THE SITE AND SHALL NOT BE RESPONSIBLE FOR ANY DISCREPANCIES OR OMISSIONS. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AGENCIES AND SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AGENCIES. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AGENCIES.



EAST ELEVATION

SCALE: 1/4" = 1'-0"



NORTH ELEVATION

SCALE: 1/4" = 1'-0"



WEST ELEVATION

SCALE: 1/4" = 1'-0"



SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

COLOR / MATERIAL LEGEND



1 STUCCO:
LA HABRA
4B MEADOWBROOK



2 TRIM:
PUNN EDWARDS-
WHISPER WHITE DEW340



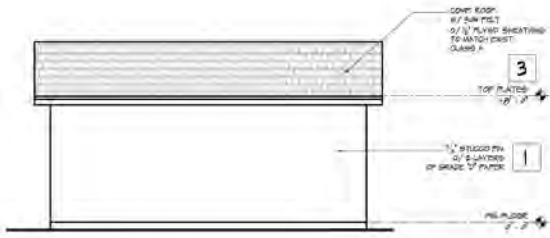
3 ROOF MATERIAL:
ELK - WEATHERWOOD

PROJECT: **RHDC**
 4570 Sunnyside Dr.
 Riverside, CA 92506

rev date remark

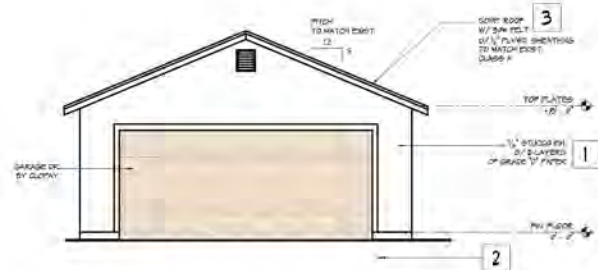
Building Elevations

A2



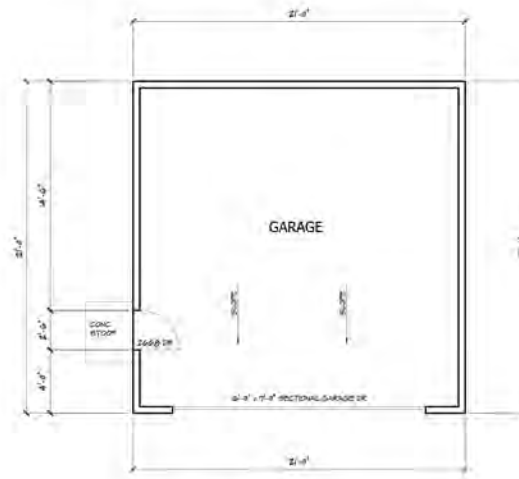
SIDE ELEVATION

SCALE: 1/4" = 1'-0"



FRONT ELEVATION

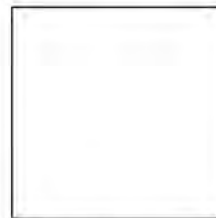
SCALE: 1/4" = 1'-0"



FLOOR PLAN

SCALE: 1/4" = 1'-0"

COLOR / MATERIAL LEGEND



1 STUCCO:
LA HABRA
48 MEADOWBROOK



2 TRIM:
DUNN EDWARDS-
WHISPER WHITE DEW340



3 ROOF MATERIAL:
ELK - WEATHERWOOD

XDG
XAVIER DESIGN GROUP
11711 COLLETT AVE. #413
RIVERSIDE
CALIFORNIA 92505
951 830 2018

Xavier Hernandez

Xavier Hernandez
ARCHITECT

YOU HERETOBY WAIVE ALL RESPONSIBILITY AND LIABILITY FOR PERMITS, CHECKS AND FEES RELATIVE TO THESE PLANS. YOU HERETOBY WAIVE AND AGREE TO HOLD FIRST COUNTRY ARCHITECTS INC. HARMLESS FROM AND AGAINST ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES, INCLUDING REASONABLE ATTORNEY'S FEES, THAT MAY BE ASSERTED AGAINST OR INCURRED BY FIRST COUNTRY ARCHITECTS INC. OR ANY OF ITS EMPLOYEES OR AGENTS IN CONNECTION WITH THESE PLANS. THIS AGREEMENT SHALL BE ENFORCEABLE UNDER ALL APPLICABLE AND EXISTING CONTRACTS ON THE DATE AND PLACE ABOVE AND IS GOVERNED BY THE LAW OF CALIFORNIA. YOU HERETOBY WAIVE YOUR RIGHTS TO JURY TRIAL.

PROJECT:
RHDC
4570 Sunnyside Dr.
Riverside, CA 92506

rev	date	remark

Garage Plans

A6

P14-0360, Exhibit 4 - Site and Area Photos



Subject Site - 4570 Sunnyside Drive



Adjacent Site - 4578 Sunnyside Dr (Non-contributor)

P14-0360, Exhibit 4 - Site and Area Photos



Home with Original Windows



Home with Original Windows

P14-0360, Exhibit 4 - Site and Area Photos



Home with Original Windows



Home with Original Windows

P14-0360, Exhibit 4 - Site and Area Photos



Home with Original Windows



Home with Vinyl Windows on Left; Home with Original Windows on Right

P14-0360, Exhibit 4 - Site and Area Photos



Non-contributor on Left; Contributor with Original Windows on Right



Home with Vinyl Windows

P14-0360, Exhibit 4 - Site and Area Photos



Home with Vinyl Windows



Home with Vinyl Windows