



City of Arts & Innovation

COMMUNITY DEVELOPMENT DEPARTMENT

Planning Division

CERTIFICATE OF APPROPRIATENESS STAFF REPORT

AGENDA ITEM NO.: 2

WARD: 1

CULTURAL HERITAGE BOARD HEARING DATE: March 24, 2014

I. CASE NUMBER(S): P13-0889

II. PROJECT SUMMARY:

- 1) **Proposal:** Proposed Certificate of Appropriateness for a new 1,548 square foot single family residence with detached garage on a contributing lot to the Wood Streets Neighborhood Conservation Area that was recently split off from the original lot with an approved parcel map within the R-1-7000-CR (Single Family Residential, Cultural Resources Overlay) Zone and Wood Streets Neighborhood Conservation Area.
- 2) **Location:** 4411 Elmwood Court, located 300 feet east of Palm Avenue.
- 3) **Applicant:** Michael W. Cote on behalf of Riverside Marcus LLC
3975 Madison
Riverside, CA 92504
- 4) **Case Planner:** Teri Delcamp, Historic Preservation Senior Planner
(951) 826-2117
tdelcamp@riversideca.gov

III. RECOMMENDATION:

That the Cultural Heritage Board:

1. **DETERMINE** that Planning Case P13-0889 constitutes a project that is consistent with the Secretary of the Interior's Standards for the Treatment of Historic Properties, which is categorically exempt from the provisions of the California Environmental Quality Act (CEQA) per Section 15331 of the CEQA Guidelines; and
2. **APPROVE** Planning Case P13-0889 based on the findings outlined in the staff report and summarized below, and subject to the attached conditions, thereby issuing a Certificate of Appropriateness for the project:

FACTS FOR FINDINGS: (From Section 20.25.050 of the Riverside Municipal Code)

The Board and Historic Preservation Officer shall make findings of the following standards when applicable to approving or denying a Certificate of Appropriateness.

FINDINGS: The application proposal is consistent or compatible with the architectural period and the character-defining elements of the historic building.

FACTS: As conditioned, the project complies with this finding. There is no existing building on the project site, but the site was formerly part of the original lot belonging to the adjacent home at 4391 Elmwood Court. The project proposes to construct a new Mission Revival style single story home, utilizing traditional massing and materials but in a modern rendition. The style, size and massing of the home, as well as the provision of a detached garage to the rear of the home, are compatible with the architectural period of the adjacent Wood Streets NCA-contributing home at 4391 Elmwood Court.

FINDINGS: The application proposal is compatible with existing adjacent or nearby Cultural Resources and their character-defining elements.

FACTS: As conditioned, the project complies with this finding. The site is located in the Wood Streets NCA, on a lot that was previously part of the adjacent contributing site at 4391 Elmwood Court. The pattern of development within this block of Elmwood Court, comprising 50 foot wide lots with standard setbacks, was well-established by the 1930s. This parcel is the last to develop in the block. The architectural style, size, massing, design and layout of the home and its site are compatible with the surrounding NCA and its character-defining elements.

FINDINGS: The colors, textures, materials, fenestration, decorative features and details, height, scale, massing and methods of construction proposed are consistent with the period and/or compatible with adjacent Cultural Resources.

FACTS: As conditioned, the project complies with this finding. The new home will be a non-contributor due to its construction date. However, the colors, textures, materials, windows, decorative features and details, height, scale and massing are all consistent and compatible with the adjacent home and the surrounding Wood Streets NCA.

FINDINGS: The proposed change does not adversely affect the context considering the following factors: grading; site development; orientation of buildings; off-street parking; landscaping; signs; street furniture; public areas; relationship of the project to its surroundings.

FACTS: As conditioned, the project complies with this finding. The site will be developed with a new, single story home with front and side setbacks similar to those in the surrounding neighborhood. The site plan for the development and the orientation and layout of the home and detached garage will ensure the new home does not adversely affect relationships with the surrounding NCA. The proposed landscape is drought tolerant and water-wise, consistent with current practices in general and already in place at several locations within the NCA and other historic sites in Riverside.

FINDINGS: The proposed change does not adversely affect an important architectural, historical, cultural or archaeological feature or features.

FACTS: The project complies with this finding. The project will not adversely affect any important architectural, historical, cultural or archaeological feature or features.

FINDINGS: The project is consistent with the Citywide Residential Historic District Design Guidelines and the separate guidelines for each Historic District.

FACTS: As conditioned, the project complies with this finding. The project complies with Chapter 9, Design Guidelines for Infill Construction in Historic Districts. Specifically, the home will be placed on the lot to harmonize with historic setbacks on the street, with parking located to the rear; the home will be single story consistent with most homes on Elmwood Court; its primary façade and entrance is oriented to the street and includes the use of a covered porch; the roof form echoes those of other historic homes in the area including the adjacent home at 4391 Elmwood Court; window sizes and materials are similar to historic windows in the surrounding NCA; architectural details echo but do not necessarily imitate details on surrounding historic homes; and proposed materials are similar to those used traditionally on historic homes in the area.

FINDINGS: The project is consistent with the Principles of the Secretary of the Interior's Standards for the Treatment of Historic Properties.

FACTS: As conditioned, the project complies with this finding. The project comprises a Rehabilitation project as the addition of a new home within a historic district. The Rehabilitation standards and guidelines are related to the setting of the historic NCA that surrounds the new home. Although the site was part of a larger original lot that remained long past the re-subdivision of all the other lots in the Brockton Place Subdivision, this fact is not in and of itself a character-defining or significant feature of the Wood Streets NCA. The project will retain the overall historic relationships and character along Elmwood Court and within the broader Wood Streets NCA. The project will also retain the existing driveway approach, historic sidewalk and mature parkway tree associated with the site. The home is scaled and designed to be consistent with the development patterns in the historic neighborhood, and will be architecturally modern but compatible with existing historic homes in the NCA.

IV. BACKGROUND/HISTORY:

The subject property is a vacant parcel adjacent to 4391 Elmwood Court; the property was part of the original lot at 4391 Elmwood Court but a parcel map approved in 2012 made it a separate parcel known as 4411 Elmwood Court. The site is located in the Wood Streets Neighborhood Conservation Area (NCA) which was designated by the City of Riverside in 1981. The project consists of a new, single story 1,548 square foot single family home with a detached garage in the rear portion of the lot. The design of the home is Spanish Eclectic/Mission Revival style in keeping with the style of the adjacent home and others within the NCA. A description of the proposed home is provided in the next section.

This block of Elmwood Court, and the adjacent half block on Bandini Avenue to the south, were originally subdivided as the Brockton Place Subdivision recorded in March 1915. The subject lot is a portion of original Lot 39 (4391 Elmwood Court) that was 100 feet wide and 190 feet deep.

In June 2012, Planning Case P12-0305 (Parcel Map 3673) was approved which allowed the original 100 foot wide lot to be split into two lots. Lot 39 was the last in the Brockton Place Subdivision to be divided into the more standard lot size generally found within the NCA. The location map and the original Brockton Place Subdivision map included in Exhibits 1 and 5, respectively, show how the lot patterns have changed.

With approval of the parcel map (P12-0305), the Zoning Administrator approved variances from the R-1-7000 development standards to allow 50 foot lot widths for both lots, and substandard side setbacks. The primary consideration was that other developed lots within the vicinity have similar lot widths and existing side yard setbacks, especially given that Title 19, Zoning Code, allows lots less than 60 feet wide in the R-1-7000 zone to observe five foot setbacks instead of the standard 7'-6"/10' side setbacks for wider lots. P12-0305 also stipulated that any future development plans or changes to the existing home on the original lot would require a Certificate of Appropriateness to ensure that the new construction aesthetically fits into the historic neighborhood.

V. DETAILED PROJECT DESCRIPTION:

The proposed single family residence will comprise 1,528 square feet in a single story volume on a rectangular plan. The roof is flat, surrounded by raised parapets that are shaped at the front façade. Walls will be smooth stucco. A small section of roof parapet will be 16'-6" in height, but the parapet around the majority of the home will be 15'-6" in height. The front façade is divided into two bays. The left bay is recessed and comprises an entry porch reached by three steps from the left side of the home. The porch is covered by a tiled, shed roof with exposed rafter tails, supported by a wood beam and post with corbels. The materials exhibit indicates that a concrete one-piece tile, or "S" tile, is proposed for the shed roofs. The porch is surrounded by a low stucco pilaster and black wrought iron wall. Two windows occur under the porch roof. The right bay with the slightly higher parapet roof features two wood windows with exposed wood headers. Three clay pipe roof vents are detailed below the parapet. All windows are proposed to be TM Cobb wood sashes, and are primarily casement and double hung. The side and rear elevations are consistent in details and materials including stucco walls, wood sash windows and a secondary door below a small, tiled shed roof. The colors proposed for the home include beige stucco, brown wood trim and dark blue or brown window sashes.

An existing driveway approach that is almost centered in front of the lot will provide access to a new concrete driveway. The driveway will initially curve to the left to avoid the home's footprint; it will then be poured in a Hollywood style where it straightens out behind a wrought iron gate and leads to a concrete pad in front of the proposed, detached 726 square foot garage in the rear of the lot. The garage style, detailing and materials are all consistent with the home.

New drought tolerant landscape and groundcover are proposed for the front yard and the parkway that separates the street from the existing sidewalk. A small planter with grass and varieties of kalanchoe succulents is proposed in the center of the front yard, surrounded by decomposed granite with cacti, echeveria succulents and boulders. The parkway will be decomposed granite with echeveria succulents. An existing street lamp and a mature tree are also located within the parkway. An exhibit depicting typical images of the proposed landscape palette is included in Exhibit 6.

LOCATION/SURROUNDING LAND USES:

	Existing Land Use	General Plan Designation	Zoning/SP Designation
Project Site	Vacant	Medium Density Residential (MDR)	Single Family Residential, Cultural Resources Overlay (R-1-7000, CR)
North	Single Family Residence (SFR)	MDR	R-1-7000, CR
East	SFR	MDR	R-1-7000, CR
South	SFR	MDR	R-1-7000, CR
West	SFR	MDR	R-1-7000, CR

VI. PROJECT ANALYSIS:

- **Compliance with section 20.25.050 of the City of Riverside Municipal Code:**

Section 20.25.050 of Title 20 in the Municipal Code outlines the findings and criteria necessary to approve a Certificate of Appropriateness. The findings are summarized earlier in this report; this section provides more particular information about some of the criteria.

With the exception of the subject property and one other vacant lot on Bandini Avenue, all of the developed lots in the Brockton Place Subdivision appear to have been split into two lots within a couple of decades after the Brockton Place Subdivision map was recorded in 1915. Three homes were existing and predated the 1915 subdivision. A handful of homes were built in the 1910s soon after the map was recorded. While about a dozen more homes were built later during or after World War II, the vast majority of the homes (about 58) were constructed in the 1920s and 1930s. Most of the homes built during that time have a typical five foot side setback on the non-driveway side of the lot, with a driveway leading to parking at the rear of the home on the other side. Front yards are typically about 20 to 23 feet. The lot configuration and pattern of development consisting of 50 foot wide lots and homes with typical five foot side setbacks (which Title 19 allows for lots less than 60 feet wide) were well established by the 1930s.

Although most of the parkway areas in the immediate vicinity are still grass, there are examples of parkways elsewhere on Elmwood Court and within the broader Wood Streets NCA that have been planted with other types of plants. There are also several homes within the NCA that have changed over their water-loving grass front yards to water-conscious and drought tolerant plantings. While the Citywide Residential Historic District Design Guidelines favor period appropriate plantings from the first half of the 20th century, many of those species are high water plants. Staff has supported and approved drought tolerant palettes for several historic homes, and the proposed design will complement the architectural style of the proposed home.

The applicant responded to staff’s inquiry that the owners agree to a condition that requires two-piece, or single barrel, clay tiles instead of the proposed concrete S-tiles. The clay two-piece tiles are more compatible with the historic materials of the NCA and will be more visually consistent with the clay pipe roof vents proposed on the front façade. Staff is also

suggesting that gray concrete be used for the new driveway consistent with the Design Guidelines and historic period appearance, although staff does note that the proposed “Saltillo Tile” concrete stain is a warmer color compatible with the proposed decomposed granite in the front yard, and will defer to the CHB’s preferences.

- **General Plan/Zoning Conformance:**

General Plan: The proposed project is consistent with the existing General Plan land use designation for the project site because it involves a single family home in a Medium Density Residential land use designation.

Zoning: The project is consistent with the development standards for the R-1-7000 zone set forth in Title 19 of the Municipal Code, and as established by the approval of planning case P12-0305.

VII. PUBLIC NOTICE AND COMMENTS:

Public notices were mailed to adjacent property owners. One neighbor has indicated she will attend the meeting and has requested the assistance of a sign language interpreter that the City will provide. No written comments have been received to date.

IX. EXHIBITS:

1. Location Map
2. Aerial Photograph
3. Project Plans
4. Site and Area Photographs
5. Brockton Place Subdivision, 1915
6. Representative Landscape Images

STANDARD AND CASE-SPECIFIC CONDITIONS

Case Number: P13-0889

Meeting Date: March 24, 2014

Standard Conditions

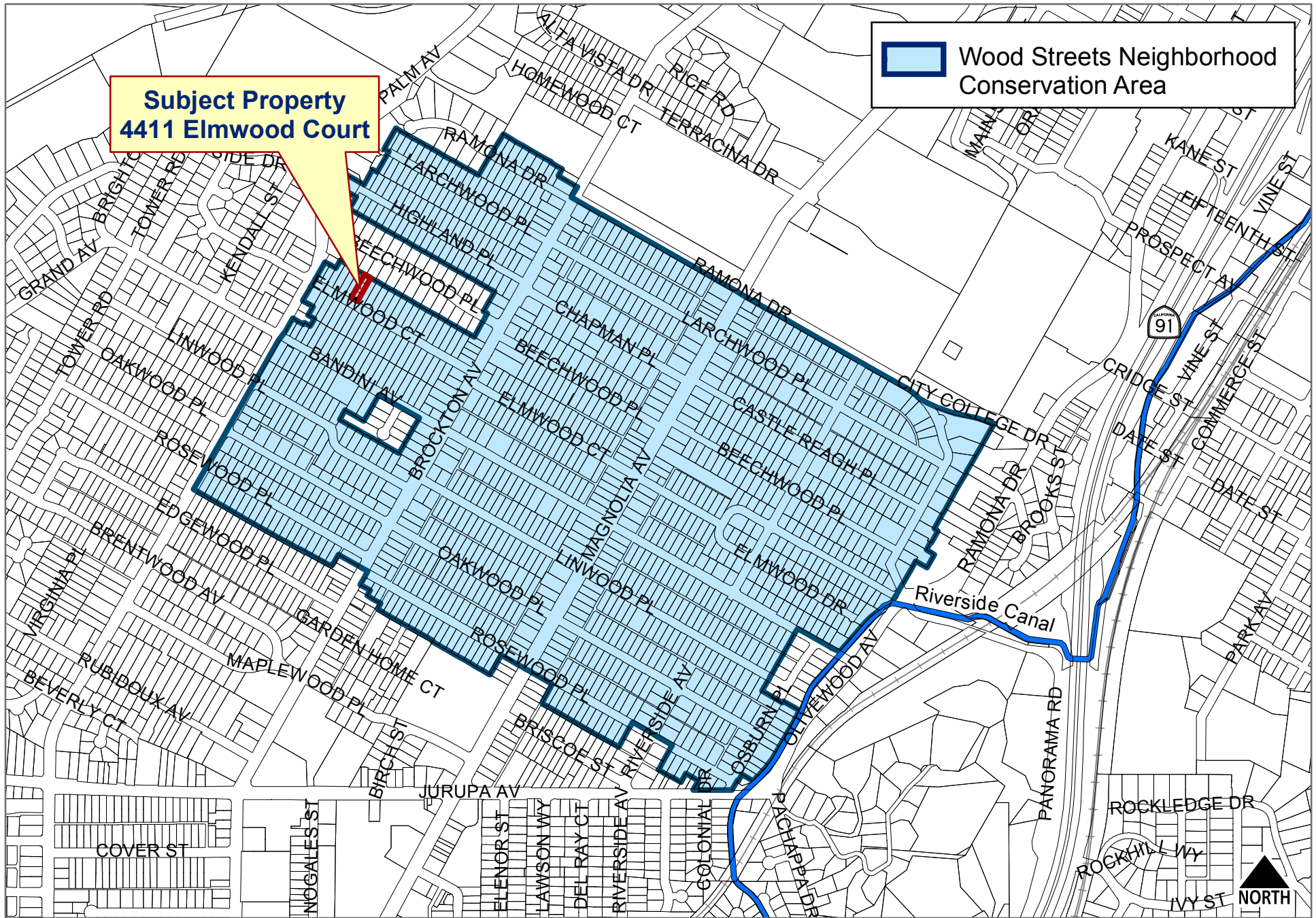
1. The project must be complete per the Cultural Heritage Board's approval, including all conditions listed below. Any subsequent changes to the project must be approved by the Cultural Heritage Board or the Cultural Heritage Board staff. Upon completion of the project, a Cultural Heritage Board staff inspection must be requested to ensure that the approved plans have been executed and that all conditions have been implemented before **UTILITIES** hold can be released.
2. Actions by the Cultural Heritage Board, including any environmental finding may be appealed. There is a ten day appeal period that will lapse at 5:00 p.m. on April 3, 2014. Appeals of the Board's action will not be accepted after this time. The appeal fee is \$1,531.20. Appeals will be considered by the Land Use Committee of the City Council at their next available meeting. Appeal processing information may be obtained from the Community Development Department, Planning Division, Public Information Section, 3rd Floor, City Hall.
3. This approval will expire in one year on March 24, 2015.
4. The granting of this request shall in no way exclude or excuse compliance with all other applicable rules and regulations in effect at the time this permit is exercised and continually thereafter.

Case-Specific

5. Prior to issuance of building permits, the applicant shall revise the building permit plan check plans to incorporate all of the following changes or submit the necessary information:
 - a. The plans shall show the right-of-way dedication required by the recorded parcel map. The front yard setback dimension shall be shown from the ultimate right-of-way line.
 - b. Plans shall specify that the three circular features below the parapet on the front façade are clay pipe drains/vents.
 - c. Plans shall specify that the material for the two shed roof elements shall be two-piece, single barrel clay tile.
 - d. Unless otherwise approved by CHB staff, the driveway shall be gray concrete with historically appropriate scoring, without any modern finishes or added colors.
 - e. The project shall protect in place and re-use the existing driveway approach including its location, width, material and design; or if required to be relocated by Public Works, shall be re-constructed to match the existing in all these respects. The existing mature tree and street lamp shall be protected in place.

- f. Submit manufacturer's cutsheets for the front door consistent with the home's architectural style, and the garage door (garage door may be metal or wood, but shall appear to have square or rectangular panels; any windows shall match the shape of the panels).
6. Prior to approval of the final inspection, the installation of the landscape and irrigation per the approved plans must be complete. Call CHB staff to schedule the final inspection at least a week prior to needing the release of utilities. Upon final inspection of landscaping, if staff finds that the amount of landscaping is insufficient, staff will require additional plants/groundcover consistent with the approved palette.
7. During all project site construction, the construction contractor shall limit all construction-related activities that would result in high noise levels to between the hours of 7:00 a.m. and 7:00 p.m., Monday through Friday and between the hours of 8:00 a.m. and 5:00 p.m. on Saturdays. No construction is permitted on Sundays or federal holidays.

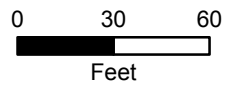
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Teri Delcamp

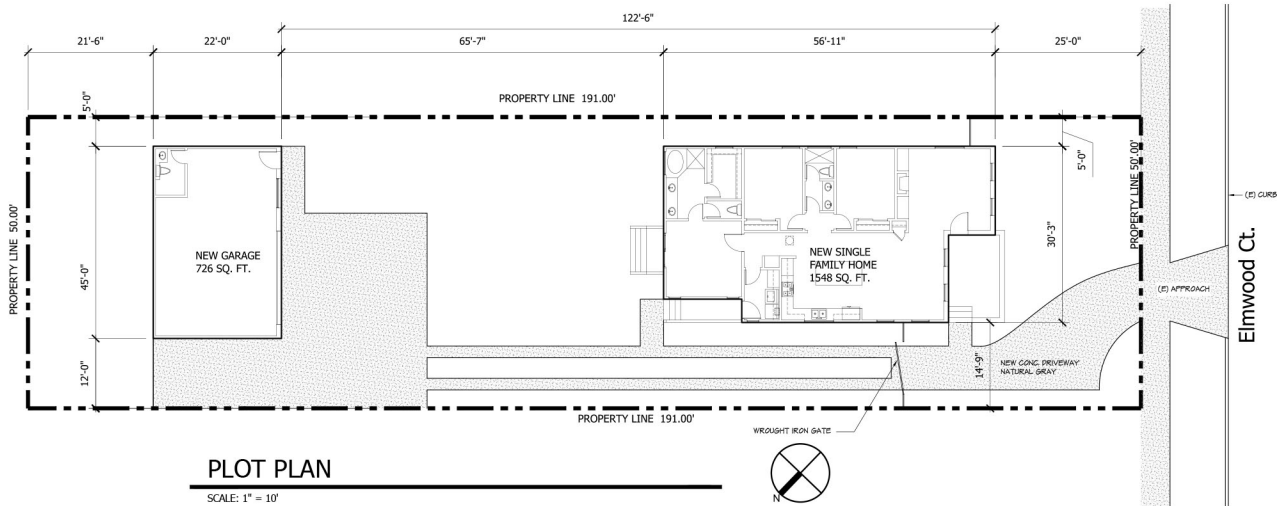


P13-0889, Exhibit 1 - Location Map



P13-0889, Exhibit 2 - 2012 Aerial Photo





PLOT PLAN

SCALE: 1" = 10'

MATERIAL CONSERVATION

- Annular spaces around pipes, electric cables, conduits or other openings in plates at exterior walls shall be protected against the passage of rodents by closing such openings with cement mortar or equivalent methods acceptable to the Building Official.
- The Construction Waste Management Plan shall require that at least 50% of all nonhazardous construction waste generated by this project as identified in the following table is recycled and/or salvaged.

Waste Material Type	(A) Estimated weight of waste before any recycling or salvage (in tons)	(B) Estimated weight of recycled or salvaged waste (in tons)	(C) Projected Diversion Rate (in Percent)
Asphalt			
Concrete			
Metal			
Wood			
Insulation			
Drywall			
Carpet and pad			
Cardboard and paper			
Plastics			
Glass			
Other:			
TOTAL FOR ALL MATERIALS			

Calculate the Projected Diversion Rate Percentage by using the following formula:
 $(B) \div (A) \times 100 = (C)$
 NOTE: Total diversion rate shall not be less than 50%.

- All subcontractors shall comply with the project's Construction Waste Management Plan.
- This project shall generate the least amount of waste possible by planning and ordering carefully, following all proper storage and handling procedures to reduce broken and damaged materials and reusing materials whenever possible. Waste materials shall be sorted on site prior to removal.
- All construction waste removed from the site shall be documented and said documentation shall be provided in an organized format to the enforcement agency in order to verify compliance with the Construction Waste Management Plan.

BUILDING MAINTENANCE AND OPERATION

- At the time of final building inspection, a manual or other media providing the following information shall be placed in the building:
 - Directions to the owner that the manual shall remain with the building.
 - Operation and maintenance instructions for all equipment and appliances.
 - Information from local utilities concerning conservation programs.
 - Public transportation and/or carpooling available in the area.
 - Educational materials on the positive impacts of an interior relative humidity between 30-60 percent and how those levels may be achieved and maintained.
 - Information concerning water-conserving landscaping and irrigation design.
 - Instructions for maintaining gutters and downspouts and the importance of diverting water at least 5 feet away from the foundation.
 - Information on required routine maintenance measures, including, but not limited to, caulking, painting, greasing around the building, etc.
 - Information about state solar energy and incentive programs available.
 - A copy of any special reports or commissioning reports required to verify compliance with the Green Code standards.

Sheet Index

SHEET	SHEET TITLE
TS	TITLE SHEET
A1	FLOOR PLAN
A2	ELEVATIONS
A3	BUILDING SECTIONS AND ROOF PLAN
A4	ELECTRICAL PLAN
A5	GARAGE FLOOR PLAN, ROOF + SECTION
A6	GARAGE ELEVATIONS
T24	ENERGY CALCULATIONS
SN	STRUCTURAL NOTES
S1	FOUNDATION PLANS
S2	FRAMING PLANS
S3	DETAILS
S4	DETAILS

Plan Notes

- 2010 CALGREEN SITE REQUIREMENTS
- CONTRACTOR SHALL IDENTIFY ALL STORM DRAINS, DRAINAGE SWALES AND CREEKS LOCATED NEAR THE CONSTRUCTION SITE, AND MAKE SURE ALL SUBCONTRACTORS ARE AWARE OF THEIR LOCATIONS TO PREVENT POLLUTANTS FROM ENTERING THEM. ALL STORM DRAINS INLETS SHALL BE PROTECTED USING FILTER FABRIC CLOTH TO PREVENT SEDIMENTS FROM ENTERING THE STORM DRAINAGE SYSTEM DURING CONSTRUCTION ACTIVITIES.
 - CONTRACTOR SHALL KEEP MATERIALS OUT OF THE RAIN, AND PREVENT RUNOFF POLLUTION AT THE SOURCE. STORE HAZARDOUS WASTE IN DRUMS AND COVERED BINS AND CONTRACT A COMPANY TO DISPOSE OF IT PROPERLY.
 - RECYCLING BINS AND CONTAINERS SHALL BE INSTALLED IN CONVENIENT LOCATIONS ON THE JOBSITE.



XAVIER DESIGN GROUP
 11711 COLLETT AVE. #413
 RIVERSIDE
 CALIFORNIA 92505
 951 830 2018

Xavier Hernandez

Xavier Hernandez
 Project Designer

SEE WASTES AND AND ALL RESPONSIBILITY AND LIABILITY FOR PROBLEMS AREAS ARE FROM FAILURE TO FOLLOW THESE AND PROBLEMS WHICH ARISE FROM OTHER FAILURE TO OBTAIN AND/OR FOLLOW ALL NECESSARY PERMITS TO ANY AGENCIES, DEPARTMENTS, AGENCIES OR COMPACTS WHICH ARE APPLICABLE. THE GENERAL CONTRACTOR SHALL VERIFY ALL INFORMATION ON THE JOB AND SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT IMMEDIATELY UPON DISCOVERY.

PROJECT:
Riverside Marcus LLC
 4411 Elmwood Ct.
 Riverside, CA 92506

Contact
Niko Cote 951.823.7148
Designer: Xavier Design Group 4280 Donald Ave. Riverside, CA 92503 Contact: Xavier Hernandez Tel: 951.830.2018 xavier@xavierdesigngroup.com
Structural Engineer: Nazem Skaf Consultant 411 Green Orchard Pl. Riverside, CA 92506 Contact: Nick Skaf Tel: 951.522.2837
T24 Consultant: Xavier Design Group 4280 Donald Ave. Riverside, CA 92503 Contact: Xavier Hernandez Tel: 951.830.2018 xavier@t24consultants.net

Project Data
LEGAL DESCRIPTION
A.P.N.: 217-261-008-9
LOT SIZE: .22 AC
LOT / TRACT: --
ZONING INFO:
BUILDING ZONE: R-1-7000
CONSTRUCTION TYPE: VB
OCCUPANCY: R3 / U --FIRE SPRINKLER REQ.
CITY: RIVERSIDE
COUNTY: RIVERSIDE
PROJECT AREAS
TOTAL LIVING AREA SQ. FOOTAGE: 1548 SQ. FT.
TOTAL GARAGE AREA SQ. FOOTAGE: 726 SQ. FT.

Scope Of Work
To build a new single family home
APPLICABLE BUILDING CODES:
2010 CALIFORNIA BUILDING CODE
2010 CALIFORNIA PLUMBING CODE
2010 CALIFORNIA RESIDENTIAL CODE
2010 CALIFORNIA GREEN BUILDING CODE
2010 CALIFORNIA ELECTRICAL CODE
2008 ENERGY CODES
2010 CALIFORNIA MECHANICAL CODE



rev date remark

Title Sheet
 + Site Plan

TS

Xavier Hernandez
 Xavier Hernandez
 Principal Designer

DESIGNER ACCEPTS ANY AND ALL RESPONSIBILITY AND LIABILITY FOR WORKS WHICH ARISE FROM FAILURE TO FOLLOW THESE PLAN SPECIFICATIONS AND DESIGN INTENT THEY CONVEY, OR FOR PROBLEMS WHICH ARISE FROM UNREASONABLE USER OR OWNER FOLLOWING USE GUIDANCE WITH RESPECT TO ANY BRANDS, DIMENSIONS, DIMENSIONS, DIMENSIONS OR CONFLICTS WHICH ARE ALLEGED. THE GENERAL CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND FOOTING CONDITIONS ON THE JOB AND SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT IMMEDIATELY UPON DISCOVERY OF THE DISCREPANCY.

Riverside Marcus LLC
 4411 Elmwood Ct.
 Riverside, CA 92506

PROJECT:
 rev date remark

Floor Plan

A1

SHEET NOTES

- 1. ANNULAR SPACES AROUND PIPES, ELECTRICAL CABLES, CONDUITS, OR OTHER OPENINGS IN PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SLIGHT OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY, OR A SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY.

ENVIRONMENTAL QUALITY NOTES

- a. At the time of rough installation, during storage on the construction site, and until final startup of the heating and cooling and ventilating equipment, all duct and other related air distribution component openings shall be covered with tape, plastic, sheetmetal, or other acceptable methods to reduce the amount of water, dust and debris which may collect in the system. (4.504.1)
- b. Building materials with visible signs of water damage shall not be installed. Wall and floor framing shall not be enclosed when the framing members exceed 19% moisture content. Insulation products which are visibly wet or have high moisture content shall be replaced or allowed to dry prior to enclosure in wall or floor cavities. (4.505.3)
- c. Whole house exhaust fans installed shall have insulated louvers or covers (Minimum R-4.2) which close when the fan is off. (4.507.1)
- d. All mechanical exhaust fans in rooms with a bathtub or shower shall comply with the following:
 - i. Fans shall be ENERGY STAR compliant and be ducted to terminate outside the building.
 - ii. Fans must be controlled by a readily accessible humidity sensor unless functioning as a component of a whole house ventilation system. Humidity control shall be adjustable between a relative humidity range between 50% and 80%. (4.506.1)

POLLUTANT CONTROL NOTES

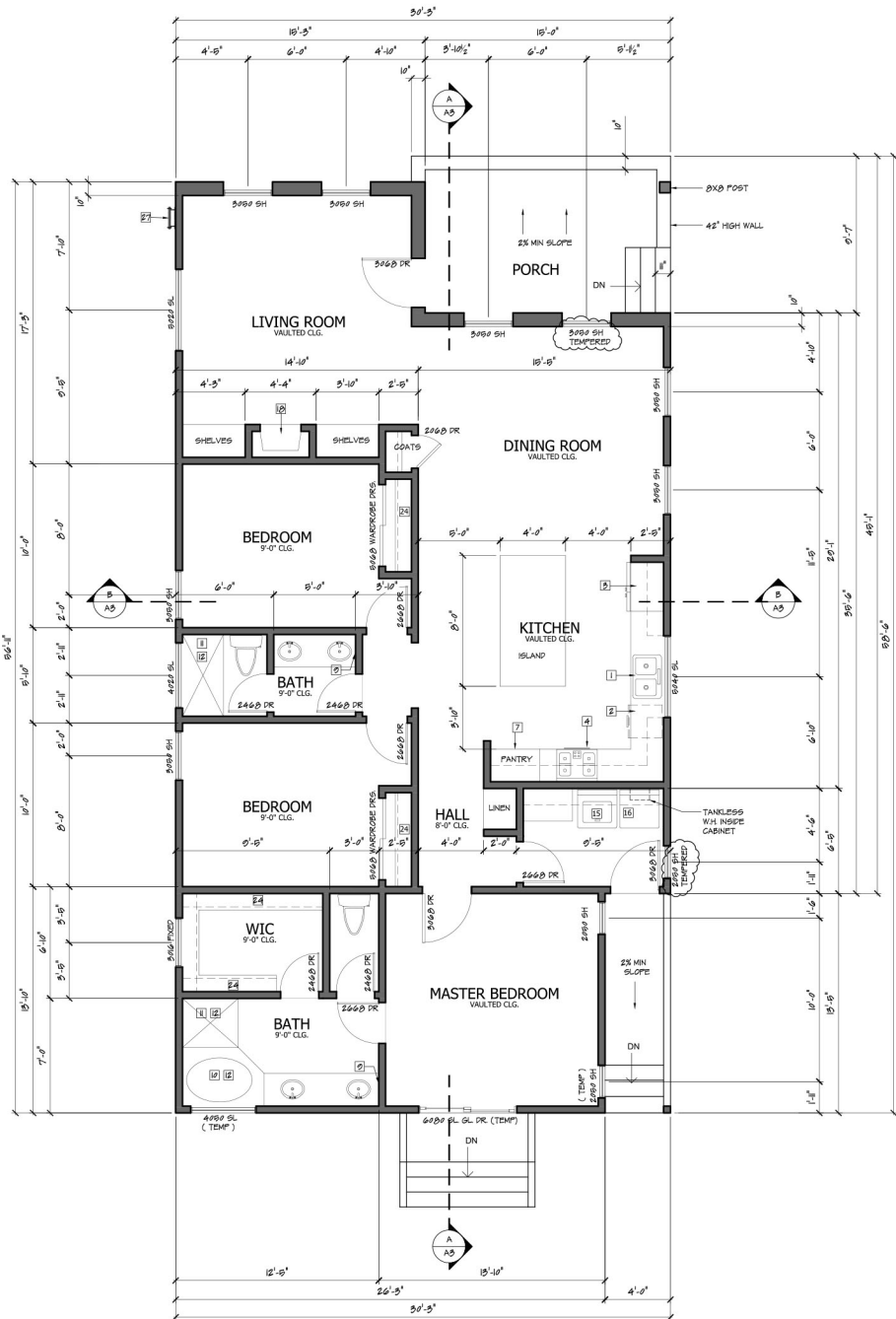
- a. Adhesives, sealants and caulks shall meet or exceed the standards outlined in Section 4.504.2.1 and comply with the VOC limits in Tables 4.504.1 and 4.504.2 as applicable. (4.504.2.1)
- b. Paints and coatings shall meet or exceed the standards outlined in Section 4.504.2.2 and comply with the VOC limits in Table 4.504.3. (4.504.2.2)
- c. Aerosol paints and coatings shall meet or exceed the standards outlined in Section 4.504.2.3. (4.504.2.3)
- d. All carpet installed in the building interior shall meet all the testing and product requirements of one of the following:
 - i. Carpet and Rug Institute's Green Label Plus Program OR
 - ii. California Department of Public Health Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers, Version 1.1 (SPEC-01350) OR
 - iii. NSF/ANSI 140 at the Gold Level OR
 - iv. Scientific Certifications Systems Indoor Advantage Gold (4.504.3)
- e. All carpet cushion installed in the building interior shall meet the requirements of the Carpet and Rug Institute Green Label Program. Carpet adhesives shall not exceed a VOC limit of 50 g/L. (4.504.3.1, 4.504.3.2)
- f. A minimum of 50% of floor area receiving resilient flooring shall comply with one of the following:
 - i. The VOC emission limits defined in the CHPS criteria and listed on its High Performance Database, OR
 - ii. CHPS criteria certified under the Greenguard Children & Schools program, OR
 - iii. RFCI FloorScore program, OR
 - iv. California Department of Public Health 2010 Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers, Version 1.1 (SPEC-01350). (4.504.4)
- g. Composite wood products (hardwood plywood, particle board, and MDF) installed on the interior or exterior of the building shall meet or exceed the standards outlined in Table 4.504.5. Verification of compliance with this section must be provided at the time of inspection. (4.504.5)

WINDOW NOTES:
 1. ALL WINDOWS SHALL BE WOOD FRAMED WINDOWS BY TM CORE WOOD WINDOWS.

KEYNOTES

- 1. DOUBLE SINK WITH GARBAGE DISPOSAL WITH AIR GAP FOR DISHWASHER.
- 2. ENERGY STAR DISHWASHER WITH AIR GAP-VERIFY DIMENSIONS WITH MANUFACTURERS SPECIFICATIONS.
- 3. ENERGY STAR RATED REFRIGERATOR SPACE. PROVIDE RECESSED COLD WATER DISB AND SHUT-OFF FOR ICE MAKER.
- 4. RANGE/COOKTOP WITH BUILDING HOOD, LIGHT AND FAN (VENT TO OUTSIDE AIR).
- 5. DOUBLE OVEN (VENT TO OUTSIDE AIR).
- 6. GYP. BR. SOFFIT REFER TO PLANS FOR HEIGHT(S).
- 7. PANTRY-REFER TO PLANS FOR SIZE.
- 8. SELF-CLOSING TIGHT FITTING, SOLID WOOD DOOR WITH MIN. 20 MIN. FIRE PROTECTION RATING WEATHER-STRIPPING AND METAL THRESHOLD.
- 9. RECESSED MEDICINE CABINET.
- 10. 36"x60" FIBERGLASS TUB AND SHOWER UNIT W/ MIN. 75# HIGH CEMENT PLASTER, CERAMIC TILE OR APPROVED EQUAL AT WALLS. PROVIDE CURTAIN ROD OR SAFETY GLASS ENCLOSURE CONTROL VALVES TO BE PRESSURE BALANCED OR THERMOSTATIC MIXING VALVES.
- 11. FIBERGLASS SHOWER PAN (SEE PLAN FOR SIZE) WITH MIN. 75# HIGH CEMENT PLASTER, CERAMIC TILE OR APPROVED EQUAL AT WALLS. CONTROL VALVES TO BE PRESSURE BALANCED OR THERMOSTATIC MIXING VALVES.
- 12. WALL COVERINGS SHALL BE CEMENT PLASTER, TILE OR APPROVED EQUAL TO A HEIGHT OF NOT LESS THAN 72" ABOVE DRAIN INLET. MATERIALS OTHER THAN STRUCTURAL ELEMENTS SHALL BE MOISTURE RESISTANT GLASS ENCLOSURE DOORS AND PANELS MUST BE LABELED CATEGORY 1 SWING DOOR OUTWARD. NET AREA OF SHOWER RECEPTOR SHALL BE NOT LESS THAN 44 SQ. IN. OF FLOOR AREA AND ENCOMPASS A 30" DIA. CIRCLE.
- 13. PAU IN ATTIC. PROVIDE LIGHT, POWER, UNOBSTRUCTED 24" PASSAGE 30" WIDE WORK SPACE AND ADEQUATE AIR SUPPLY. PROVIDE CONDENSATE DRAIN LINE TO OUTSIDE. VENT TO OUTSIDE AND COMBUSTION AIR.
- 14. 24" X 30" ATTIC ACCESS MIN. WITH MIN. 30" CLEAR HEADROOM. PROVIDE SWITCH LIGHT, 80V. OUTLET, AND 24" SOLID FLOORING TO PAU.
- 15. ENERGY STAR HORIZONTAL AXIS WASHER SPACE. PROVIDE RECESSED WATER AND DRAIN CONNECTIONS. PROVIDE SPLITTY PAN AND DRAIN AT SECOND FLOOR LOCATIONS.
- 16. DRYER SPACE. PROVIDE DRYER VENT TO OUTSIDE AIR WITH BACKDRIFT DAMPER. PROVIDE 1 HR. FIRE CALLING IF PIPE PENETRATES A FIRE WALL. 14" MAX. LENGTH WITH MAX. 2 ELBOWS.
- 17. WATER HEATER ON A 10" HIGH PLATFORM WITH SEISMIC STRAPS AND VENT TO OUTSIDE. PROVIDE PRESSURE RELIEF VALVE WITH DRAIN TO OUTSIDE AND COMBUSTION AIR.
- 18. FREE GAS APPLIANCE PRELACE BY LENNOX FOR 2000 VENT FREE.
- 19. OCCUPANCY SEPARATION BETWEEN GARAGE AND LIVING AREA- PROVIDE LAYER OF 6/8" TYPE "X" 5/8" GYP. ON GARAGE SIDE OF WALLS ADJACENT TO LIVING AREAS AND AT ELEMENTS SUPPORTING SEPARATION ABOVE. CEILING SHALL RECEIVE 2 LAYERS OF 1/2" GYP. BO. APPLIED TO THE BOTTOM OF THE FLOOR OR ROOF TRUSSES IF SPACING IS GREATER THAN 16" O.C. WRAP ALL BEAMS AND SUPPORTING POSTS.
- 20. AC CONDENSER ON WEATHERPROOF PAD 5" ABOVE GRADE. (VERIFY SIZE AND LOCATION) PROVIDE 220V. WEATHERPROOF DISCONNECT AND A 10V WEATHERPROOF OUTLET WITHIN 24" OF UNIT.
- 21. 6/8" TYPE "X" GYP. BO. AT WALLS AND CEILING AT ENCLOSED USABLE SPACE UNDER STAIRS.
- 22. 244"x8" GAL GREENEEN COMBUSTION AIR VENTS-ONE HIGH WITHIN 12" OF CEILING AND ONE LOW WITHIN 12" OF FINISHED FLOOR.
- 23. 5" DIAMETER PIPE BOLLARD.
- 24. PAINT-GRADE WOOD OR VINYL-COATED WIRE 12" DEEP SHELF AT 6" ABOVE FINISHED FLOOR.
- 25. STUCCO SOFFIT-REFER TO EXTERIOR ELEVATIONS FOR HEIGHT(S).
- 26. STUCCO SHELF. SLOPE TO DRAIN.
- 27. 200 AMP ELECTRICAL PANEL WITH MIN. 20" UPPER GROUNDING WITH BOND TO GAS AND WATER PIPING. CONDUCTORS SHALL HAVE A VERTICAL CLEARANCE ABOVE ROOFS OF NOT LESS THAN 5'-0".
- 28. 36"x36" MIN. CONCRETE STOP.

MAX. FLUSH VOLUMES AND FLOW RATES
 WATER CLOSETS: 120 GAL PER FLUSH
 SHOWER HEAD: 2.0 GAL PER MINUTE
 FAUCETS/SINKS/LAVS: 1.0 GAL PER MINUTE
 KITCHEN FAUCETS: 1.0 GAL PER MINUTE



FLOOR PLAN

SCALE: 1/4" = 1'-0"

Javier

Xavier Hernandez
 Principal Designer

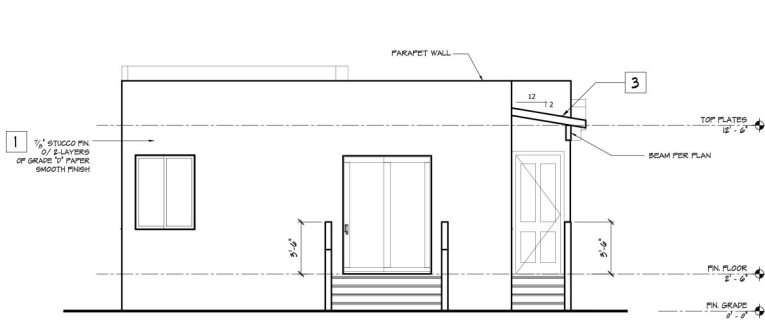
DESIGNER WAIVES ANY AND ALL RESPONSIBILITY AND LIABILITY FOR PROBLEMS WHICH ARISE FROM FAILURE TO FOLLOW THESE PLANS, SPECIFICATIONS AND DESIGN INTENT THEY CONVEY, OR FOR PROBLEMS WHICH ARISE FROM OTHER FAILURE TO OBTAIN AND/OR FOLLOW THE BUILDING WITH RESPECT TO ANY APPLICABLE ORDINANCES, INCONSISTENCIES, AMBIGUITIES OR CONFLICTS WITH ANY OTHERS. THE GENERAL CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL CONDITIONS AND EXISTING CONDITIONS ON THE JOB AND SHALL REPORT AND RECOMMEND TO THE ARCHITECT PRIOR TO COMMENCING THE WORK IN QUESTION.

PROJECT:
Riverside Marcus LLC
 4411 Elmwood Ct.
 Riverside, CA 92506

rev date remark

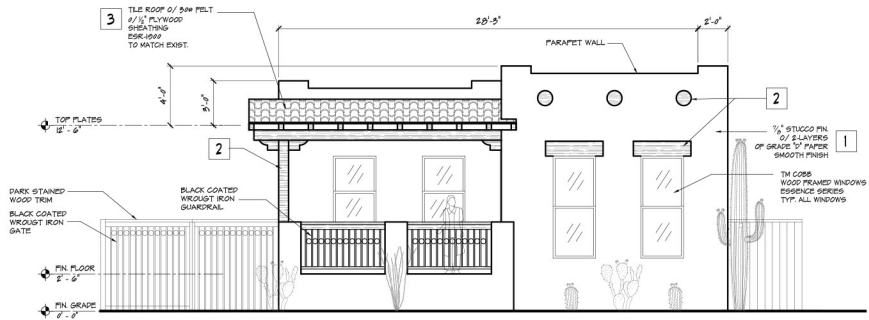
Elevations

A2



REAR ELEVATION

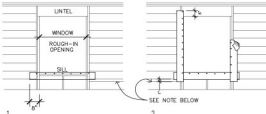
SCALE: 1/4" = 1'-0"



FRONT ELEVATION

SCALE: 1/4" = 1'-0"

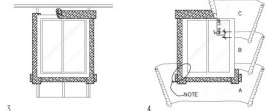
EXTERIOR OPENINGS EXPOSED TO THE WEATHER SHALL BE FLASHED IN SUCH A MANNER AS TO MAKE THEM WATERPROOF.



1. ATTACH JAMB STRIP WITH TOP EDGE (SEE WINDOW JAMB STRIP) BEHIND EDGE OF ROUGH OPENING AT LEAST 1\"/>

NOTE: LIME-WIRE, WHEN USED AS BRACKING TO SUPPORT BUILDING PAPER BENEATH WIRE LATH (NOTING FOR PORTLAND CEMENT PLASTER STUCCO), SHALL BE INSTALLED AS FOLLOWS:

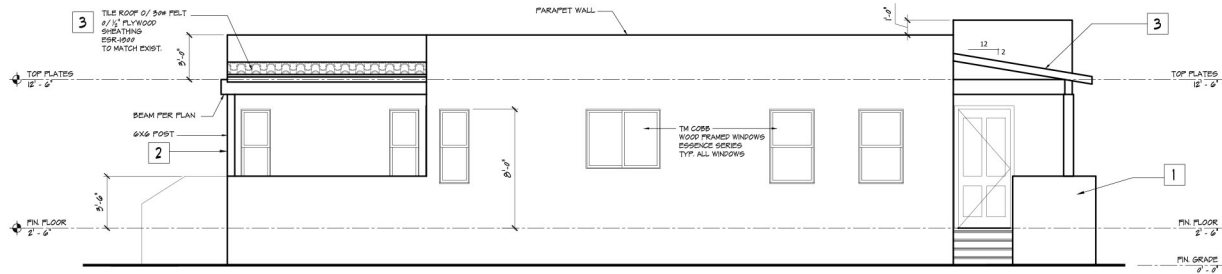
1. WIRE GAUGE, SPACING, AND ATTACHMENT SHALL BE IN ACCORDANCE WITH REQUIREMENTS OF BUILDING CODE (IBC 1711.1).
2. PERFORM FLASHING AT ALL EDGES OF WALL OPENINGS, MUST COVER THE WIRE BRACKING.
3. NO ATTACHMENT DEVICES NOR THE WIRE BRACKING SHALL COVER OR PENETRATE THE FLASHING MATERIAL.



3. INSTALL WINDOW JAMB MAKING SURE THERE IS A CONTINUOUS BEAD OF SEALANT ON THE MOST STOP (OR EQUAL) INSTALL THE WINDOW HEAD MOST STOP (OR EQUAL) AND A CONTINUOUS BEAD OF SEALANT APPLIED TO THE WINDOW HEAD MAKING FLANGE.

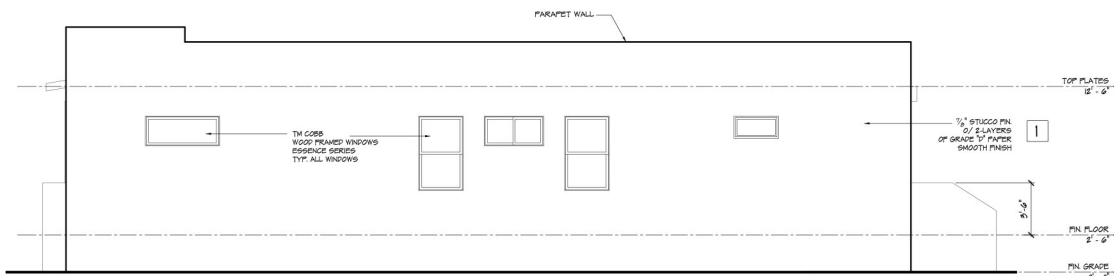
THE ABOVE METHOD APPLIES ONLY TO THE MOST COMMONLY USED TYPE OF METAL FRAME (SOURCE MOUNTED). FOR OTHER TYPES OF FRAMES SPECIAL ATTENTION MUST BE PAID TO THE MANUFACTURER'S RECOMMENDATIONS. HEAD AND JAMB INSTALLATION IS TYPICAL FOR SLIDING GLASS, DOORS, NOTE: LIP JAMB MOST STOP OVER FLASHER SIZED MEANS TO MAKE.

WINDOW FLASHING



LEFT ELEVATION

SCALE: 1/4" = 1'-0"



RIGHT ELEVATION

SCALE: 1/4" = 1'-0"

SHEET NOTES

APPROVED CORROSION RESISTANT FLASHINGS SHALL BE INSTALLED AT ALL THE FOLLOWING LOCATIONS:

1. EXTERIOR WINDOWS AND DOOR OPENINGS. FLASHING AT EXTERIOR WINDOW AND DOOR OPENINGS SHALL EXTEND TO THE SURFACE OF THE EXTERIOR WALL FINISH OR TO THE WATER RESISTIVE BARRIER FOR SUBSEQUENT DRAINAGE.
2. AT THE INTERSECTION OF CHIMNEYS OR OTHER MASONRY CONSTRUCTION WITH FRAME OR STUCCO WALLS, WITH PROJECTING LIPS ON BOTH SIDES UNDER STUCCO COPINGS.
3. UNDER AND AT THE ENDS OF MASONRY, WOOD OR METAL COPINGS AND SILLS.
4. CONTINUOUSLY ABOVE ALL PROJECTING WOOD TRIM.
5. WHERE EXTERIOR PORCHES, DECKS OR STAIRS ATTACH TO A WALL OR FLOOR ASSEMBLY OF WOOD FRAME CONSTRUCTION.
6. AT WALL AND ROOF INTERSECTIONS.
7. AT BUILT IN GUTTER.

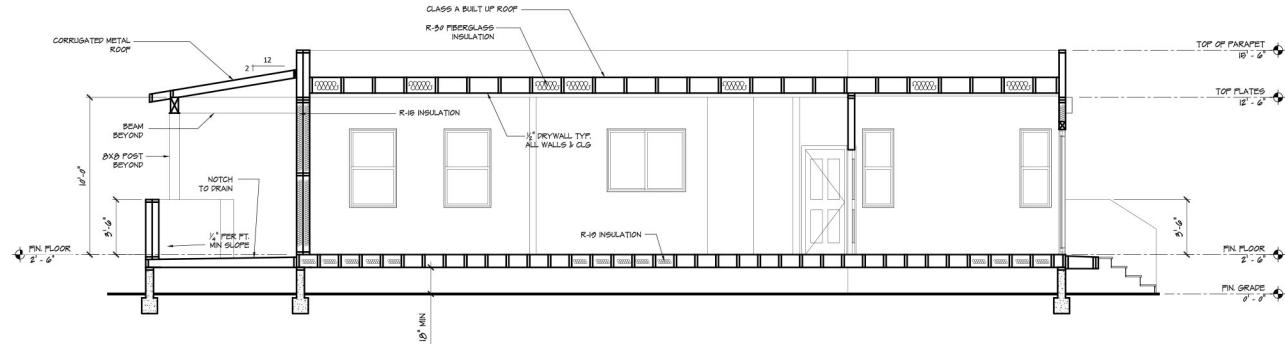
COLOR / MATERIAL LEGEND

- 1 STUCCO: LA HABRA - X02 HACIENDA
- 2 WOOD TRIM: BY BEAR - MANCHESTER BROWN QE-24
- 3 TILE ROOF - BY EAGLE - CAPISTRANO, GRAND CANYON

Xavier Hernandez

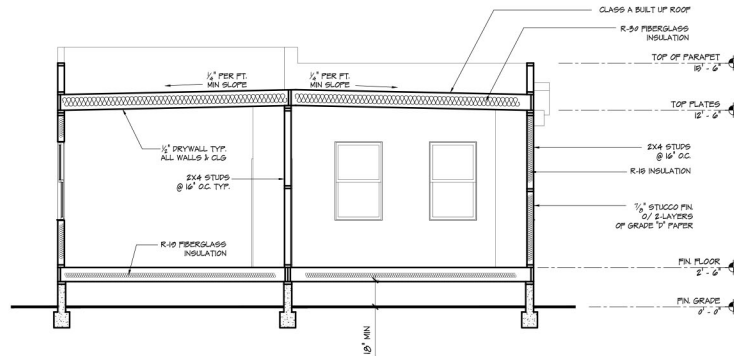
Xavier Hernandez
 Principal Designer

XDG WAIVES ANY AND ALL RESPONSIBILITY AND LIABILITY FOR PROBLEMS WHICH ARISE FROM FAILURE TO FOLLOW THESE PLANS, SPECIFICATIONS AND DESIGN INTENT. THEY COVER, OR FOR PROBLEMS WHICH ARISE FROM OTHER FAILURE TO DESIGN AND/OR FOLLOW XDG GUIDANCE WITH RESPECT TO ANY ERRORS, OMISSIONS, OR CONFLICTS. THE GENERAL CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND EXISTING CONDITIONS ON THE JOB AND SHALL REPORT ANY DISCREPANCIES TO XDG FOR RESOLUTION PRIOR TO COMMENCING THE WORK IN QUESTION.



SECTION A-A

SCALE: 1/4" = 1'-0"

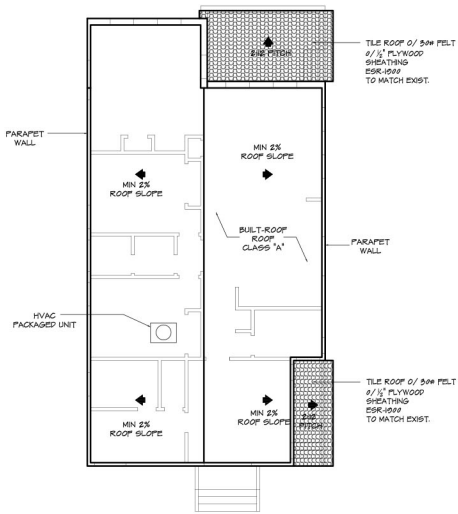


SECTION B-B

SCALE: 1/4" = 1'-0"

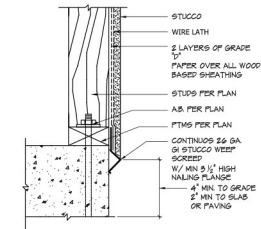
PROVIDE FIRE STOPS AT THE FOLLOWING LOCATIONS

1. IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS INCLUDING PENETRATIONS AT THE CEILING AND FLOOR LEVELS AND AT 10' INTERVALS ALONG THE LENGTH OF THE WALL.
2. AT THE INTERSECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILING AND CORE CEILING.
3. IN CONCEALED SPACES BETWEEN STAR STRONGERS AT THE TOP AND BOTTOM OF THE RUN AND BETWEEN STUDS ALONG AND IN LINE WITH THE RUN OF STARS IF THE WALLS UNDER THE STARS ARE UNFRAMED.
4. IN OPENINGS AROUND VENTS, PIPES, DUCTS, CHIMNEYS, FIREPLACES AND SIMILAR OPENINGS WHICH AFFORD A PASSAGE FOR FIRE AT CEILING AND FLOOR LEVELS WITH NONCOMBUSTIBLE MATERIALS.



ROOF PLAN

SCALE: 1/8" = 1'-0"



STUCCO SCREED

SCALE: NTS

Riverside Marcus LLC
 4411 Elmwood Ct.
 Riverside, CA 92506

PROJECT: **Riverside Marcus LLC**

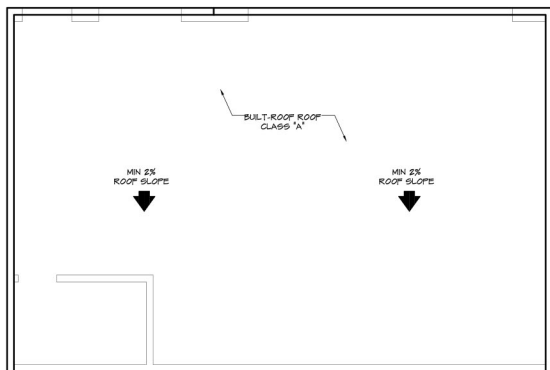
rev	date	remark

Sections
 + Roof Plan

A3

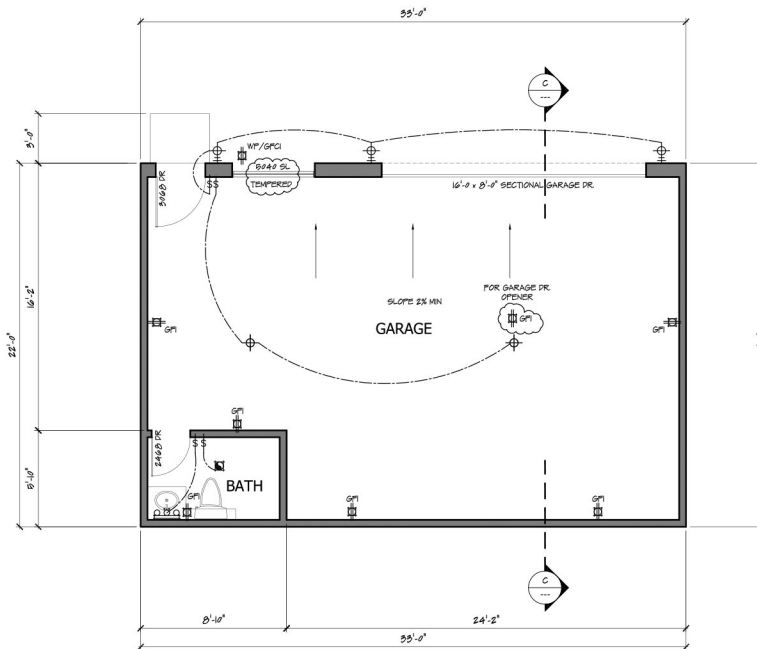
Xavier Hernandez

Xavier Hernandez
 Principal Designer
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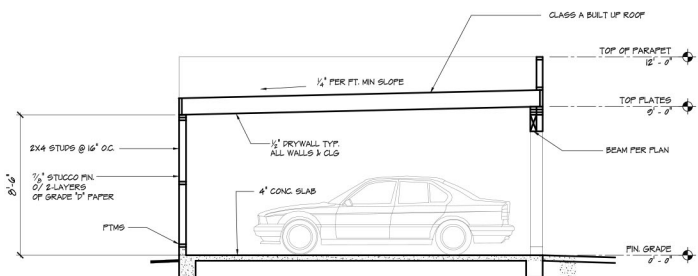
ROOF PLAN

SCALE: 1/8" = 1'-0"



FLOOR PLAN

SCALE: 1/4" = 1'-0"



SECTION C-C

SCALE: 1/8" = 1'-0"

PROJECT:
Riverside Marcus LLC
 4411 Elmwood Ct.
 Riverside, CA 92506

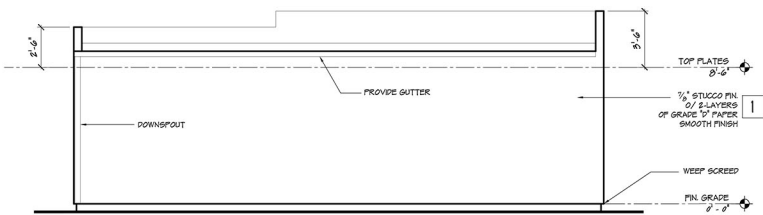
rev	date	remark

Floor Plan
 Roof + Section

A5

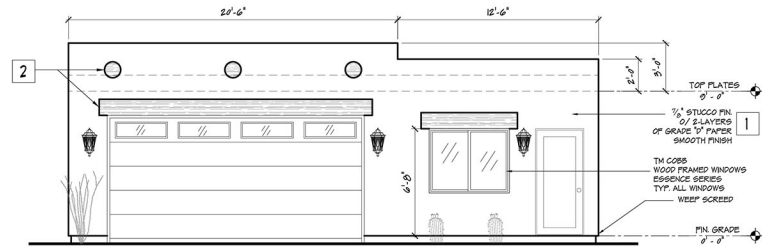
Xavier Hernandez

Xavier Hernandez
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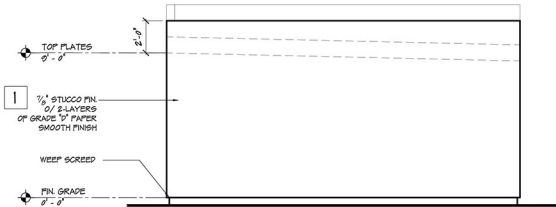
REAR ELEVATION

SCALE: 1/8" = 1'-0"



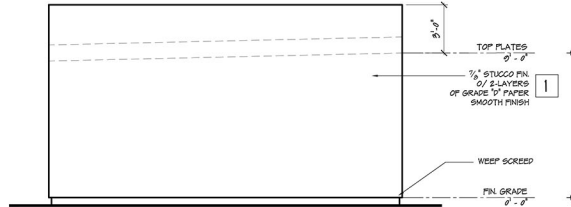
FRONT ELEVATION

SCALE: 1/8" = 1'-0"



RIGHT ELEVATION

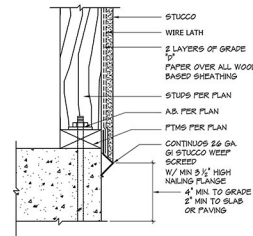
SCALE: 1/8" = 1'-0"



LEFT ELEVATION

SCALE: 1/8" = 1'-0"

COLOR / MATERIAL LEGEND	
1	STUCCO: LA HABRA - XØ2 HACIENDA
2	WOOD TRIM: BY BEAR - MANCHESTER BROWN QE-24



STUCCO SCREED

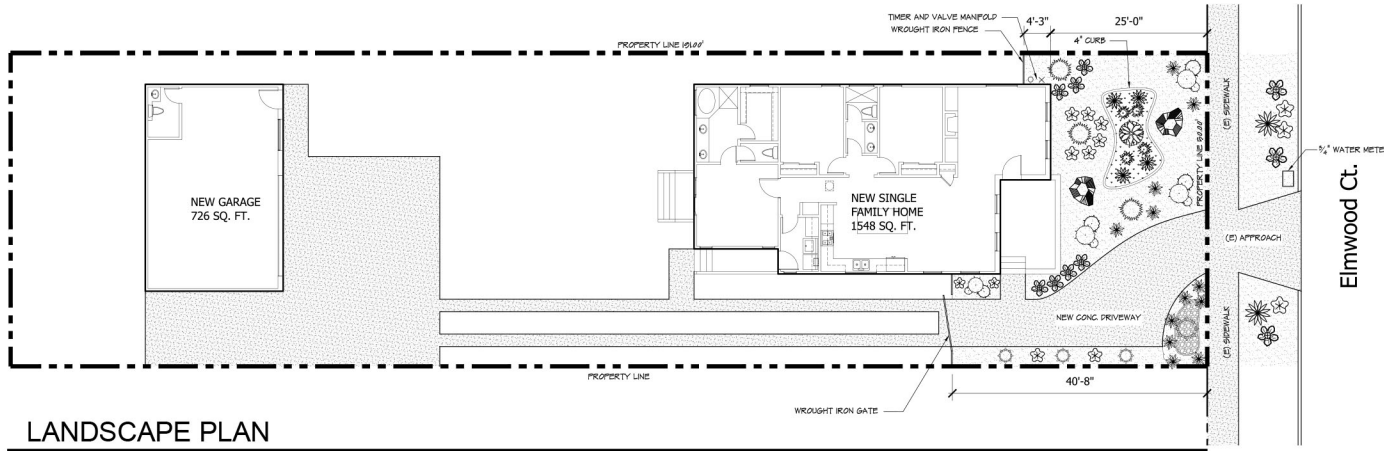
SCALE: NTS

PROJECT:
Riverside Marcus LLC
 4411 Elmwood Ct.
 Riverside, CA 92506

rev	date	remark

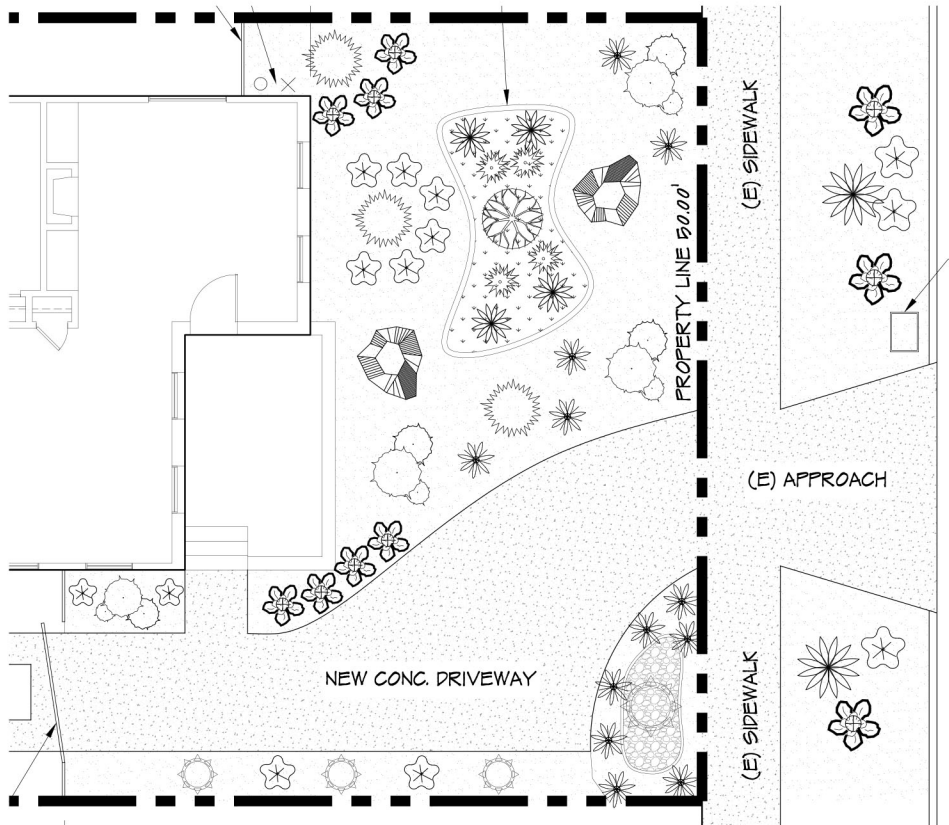
Garage
 Elevations

A6



LANDSCAPE PLAN







SCALE: 1" = 10'






ENLARGED LANDSCAPE PLAN






SCALE: 1/4" = 1'-0"

LANDSCAPE PALETTE

- CACTI 5 GAL**
-  TRICHOCEREUS GRANDIFLORA (flowering hedgehog)
-  TRICHOCEREUS GRANDIFLORA (flowering hedgehog)
-  TRICHOCEREUS PACHANOI (san pedro)
- ECHEVERIAS 2 GAL**
-  ECHEVERIA X HYBRID (afterglow and bluesky)
-  ECHEVERIA IMBRICATA (hens and chicks)
-  ECHEVERIA GIBBIFLORA (DESERT LOTUS)

- KALANCHOES 2 GAL**
-  KALANCHOE MARMORATA (penwiper plant)
-  KALANCHOE THRYSIFFLORA (flapjacks)
-  KALANCHOE BEHARENSIS (felt plan)

GROUND COVER

-  GRASS
-  DECOMPOSED GRANITE
-  CONCRETE
-  CONCRETE
-  ROCK BOULDER

XDG
 XAVIER DESIGN GROUP
 11711 COLLETT AVE. #413
 RIVERSIDE
 CALIFORNIA 92505
 951 830 2018

Xavier Hernandez

Xavier Hernandez
 Principal Designer
 YOU WAIVER ANY AND ALL RESPONSIBILITY AND LIABILITY FOR PROBLEMS WHICH ARISE FROM FAILURE TO FOLLOW THESE PLANS, SPECIFICATIONS AND DESIGN INTENT. THEY COVER OR FOR PROBLEMS WHICH ARISE FROM OTHERS' FAILURE TO OBTAIN AND/OR FOLLOWING THE GUIDANCE WITH RESPECT TO ANY ERRORS, OMISSIONS, INCONSISTENCIES, AMBIGUITIES OR CONFLICTS WHICH ARE ALLEGED. THE GENERAL CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND FITTING CONDITIONS ON THE JOB AND SHALL REPORT ANY DISCREPANCIES TO XDG FOR RESOLUTION PRIOR TO COMMENCING THE WORK IN QUESTION.

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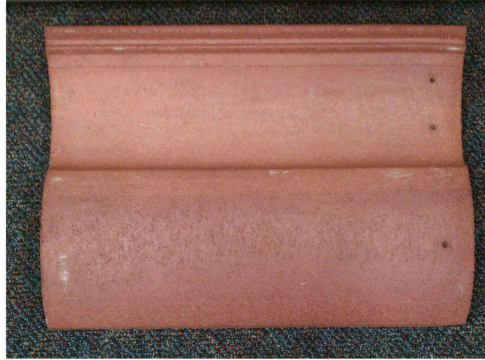
Landscape Plan

LP





Stucco—Behr “Stone Wash”



One piece Concrete Roof Tile



Behr Semi-Transparent Concrete
Stain



Wood Trim—Behr “Chalet”



Porch Stone Tile



Windows—Behr “Club Navy”

4411 Elmwood Court

P13-0889, Exhibit 3 - Project Plans

P13-0889, Exhibit 4 - Site Photos



4391 Elmwood Court



Vacant Site 4411 Elmwood Court

P13-0889, Exhibit 4 - Area Photos



Looking northwest on Elmwood Court



Looking southeast on Elmwood Court

P13-0889, Exhibit 4 - Area Photos



Elmwood Court Parkway



Wood Streets Landscape



Wood Streets Parkway

P13-0889, Exhibit 4 - Area Photos



Wood Streets Parkway



Wood Streets Parkway

9/79
M.B.9/79

We hereby, ^{with} that we are the owners of, or are interested in, the land included within the subdivision shown on the annexed map, and that we are the only persons whose consent is necessary to pass a clear title to said land and that we consent to the making of said map and subdivision as shown within the colored border line and hereby dedicate to the public use all the streets etc, shown on said map within said subdivision.

H. R. Adair
George Carrothers

MAP OF BROCKTON PLACE SUBDIVISION

BEING A SUBDIVISION OF LOTS 206 AND 207, OF THE SOUTHERN CALIFORNIA COLONY ASSOCIATION LANDS, IN THE CITY OF RIVERSIDE, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA.

FEB., 1915 - SCALE 1"=100' - A. BRAUNSCHWEIGER, C.E.

State of California } ss.
County of Riverside }

On this 15th day of February in the year of our lord one thousand nine hundred and fifteen before me Charles E. Johnson, a Notary Public in and for said County and State, residing therein, duly commissioned and sworn, personally appeared H. R. Adair and George Carrothers known to me to be the persons described in and whose names are subscribed to and who executed the within instrument and acknowledged to me that they executed the same freely and voluntarily.

In Witness Whereof, I have hereunto set my hand and affixed my official seal, at my office in said County and State, the day and year in this certificate first above written.

Charles E. Johnson
Notary Public in and for County of Riverside, State of California.

I hereby certify that there are no liens for unpaid taxes against any portion of the subdivision shown hereon, except taxes now assessed and not yet paid.



W. H. H. Brown
Auditor for the County of Riverside.
Wm. P. ...
Auditor for the City of Riverside.

Resolved, that the within be and is hereby adopted as the official map of the Brockton Place Subdivision and that the streets etc. as shown on said map are hereby accepted as public streets, and the City Clerk is hereby authorized, and directed to attest said map by signing his name thereto as City Clerk of said City for and in behalf of said City and to affix the seal of the City thereto.



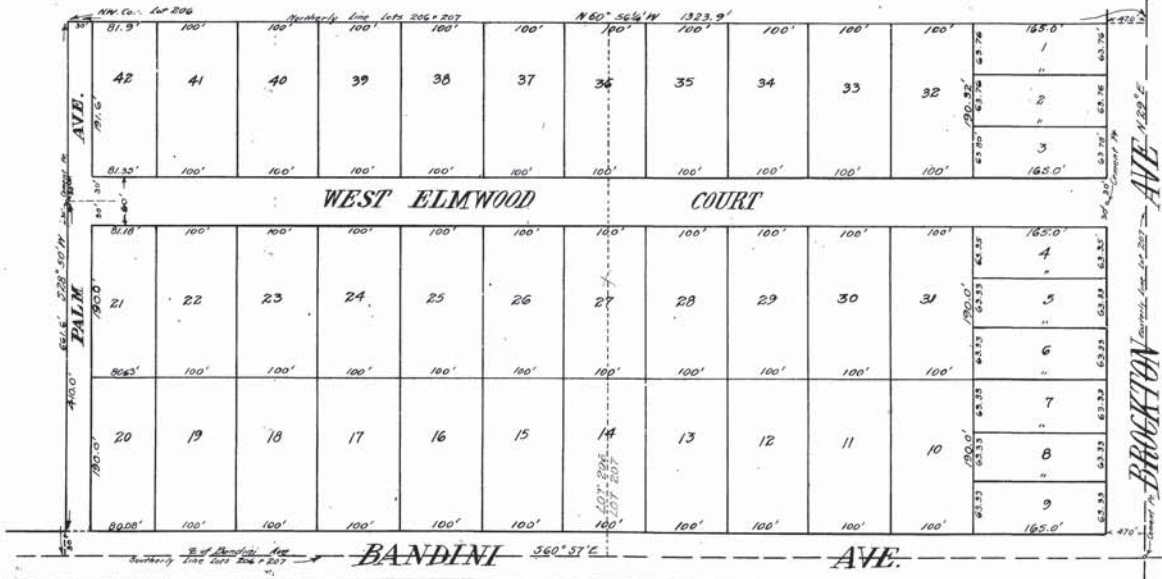
I hereby certify that the foregoing resolution was adopted by the Mayor and Common Council of the City of Riverside this 22nd day of March, 1915.

W. H. H. Brown
City Clerk.

I hereby certify that this map is a correct representation of the survey made by me in February, 1915.

A. Braunschweiger
Civil Engineer.

Filed March 15, 1915
By Wm. P. ...
W. H. H. Brown
City Clerk



Note: All block corners marked by 3x3 Redwood Stakes.

I hereby certify that a sufficient bond to secure taxes now a lien but not yet payable has been filed as required by Chapter 306 City of 1915.



W. H. H. Brown
City Clerk

M.B.9/79

Book No. 1 within City limits

P13-0889, Exhibit 5 - Brockton Place Subdivision, 1915

MB9/79



Trichocereus Grandiflorus, Hedgehog Cactus



Trichocereus Pachanoi, San Pedro



Echeveria Gibbiflora, Desert Lotus



Echeveria Hyb. Blue Sky



Echeveria Imbricata, Hens and Chicks



Echeveria Hyb. After Glow



Kalanchoe Marmorata, Penwiper



Kalanchoe Thrysiflora, Flapjacks



Kalanchoe Beharensis, Felt Plant