



City of Arts & Innovation

COMMUNITY DEVELOPMENT DEPARTMENT

Planning Division

CERTIFICATE OF APPROPRIATENESS STAFF REPORT

AGENDA ITEM NO.: 2

WARD: 2

CULTURAL HERITAGE BOARD HEARING DATE: December 18, 2013

I. CASE NUMBER(S): P13-0651

II. PROJECT SUMMARY:

- 1) **Proposal:** Proposed Certificate of Appropriateness for the restoration and rehabilitation of an existing Structure of Merit, including a 1,118 square foot addition at the rear, to convert a single family residence to a bed and breakfast inn with parking and landscape improvements within the CR-SP - Commercial Retail Specific Plan (University Avenue) Zone.
- 2) **Location:** 2586 University Avenue, located southerly of University Avenue and westerly of Victoria Avenue
- 3) **Applicant:** Frank Purbaugh
MXM Inc.
2666 E. Huntington Dr.
Duarte, CA 91010
- 4) **Case Planner:** Teri Delcamp, Historic Preservation Senior Planner
(951) 826-2117
tdelcamp@riversideca.gov

III. RECOMMENDATION:

That the Cultural Heritage Board:

1. **DETERMINE** that Planning Case P13-0651 constitutes a project that is consistent with the Secretary of the Interior's Standards for the Treatment of Historic Properties, which is categorically exempt from the provisions of the California Environmental Quality Act (CEQA) per Section 15331 of the CEQA Guidelines; and
2. **APPROVE** Planning Case P13-0651 based on the findings outlined in the staff report and summarized below, and subject to the attached conditions, thereby issuing a Certificate of Appropriateness for the project:

FACTS FOR FINDINGS: (From Section 20.25.050 of the Riverside Municipal Code)

The Board and Historic Preservation Officer shall make findings of the following standards when applicable to approving or denying a Certificate of Appropriateness.

FINDINGS: The application proposal is consistent or compatible with the architectural period and the character-defining elements of the historic building.

FACTS: As conditioned, the project complies with this finding. The project proposes to restore and rehabilitate the historic building for a bed and breakfast inn use, including replacing an inappropriate addition at the front; minor modifications above the addition to provide a balcony; restoration of historic materials; a 1,118 square foot two story addition at the rear that replaces an existing single story addition; minor modifications to materials along the side elevations; improved driveway leading to parking lot at the rear; outdoor patios at front and rear; landscaping; signage; and painting of the exterior. Conditions ensure that existing materials will be replaced like for like and that new materials will match the dimensions, style and design, as well as materials where appropriate, to the maximum extent feasible. The site improvements are compatible with and will improve the existing character of the site. The project will not adversely affect the site's status as a Structure of Merit.

FINDINGS: The application proposal is compatible with existing adjacent or nearby Cultural Resources and their character-defining elements.

FACTS: As conditioned, the project complies with this finding. The site is not located within a historic district, but is directly adjacent to other Cultural Resources. The property to the east is also a Structure of Merit, and the Ninth Street Potential Neighborhood Conservation Area abuts the property on the south. The adaptive re-use and activation of the currently vacant site with a bed and breakfast is compatible with these nearby Cultural Resources.

FINDINGS: The colors, textures, materials, fenestration, decorative features and details, height, scale, massing and methods of construction proposed are consistent with the period and/or compatible with adjacent Cultural Resources.

FACTS: As conditioned, the project complies with this finding. The historic building's existing textures, materials, fenestration patterns, decorative features and details, height, scale and massing will be preserved and restored. Compatible addition will be constructed at the rear; an inappropriate addition at the front will be replaced with a more sympathetically designed addition and minor alteration above it to provide a balcony. Minor modifications to secondary features will occur at the sides but will be compatible with the structure's period and with adjacent Cultural Resources.

FINDINGS: The proposed change does not adversely affect the context considering the following factors: grading; site development; orientation of buildings; off-street parking; landscaping; signs; street furniture; public areas; relationship of the project to its surroundings.

FACTS: As conditioned, the project complies with this finding. The site comprises an existing single family residence that had been previously used for various commercial activities in the past but has been vacant for a long period of time. The site was formerly paved with asphalt all around the house, but is proposed to have a combination of hardscape and landscape at the front to restore a more compatible character to the site. A driveway along the east side will lead to a parking lot at the rear that will also be landscaped and separated from adjacent residential uses by a solid wall as required by Title 19. The project provides the required number of off-street parking spaces for the bed and breakfast inn including one accessible space. Proposed signs are compatible with the historic building and bed and breakfast use while acknowledging the commercial character of University Avenue. As proposed, the project will vastly improve the site's relationship to its surroundings.

FINDINGS: The proposed change does not adversely affect an important architectural, historical, cultural or archaeological feature or features.

FACTS: As conditioned, the project complies with this finding. The project will not adversely affect an important architectural, historical, cultural or archaeological feature or features. The provision of an active use within the vacant building and along this portion of the University Avenue corridor will ensure the Structure of Merit is rehabilitated and preserved for future generations.

FINDINGS: The project is consistent with the Citywide Residential Historic District Design Guidelines and the separate guidelines for each Historic District.

FACTS: As conditioned, the project complies with this finding. The project complies with the University Avenue Specific Plan Design Guidelines for appropriate rehabilitation of historic structures, creation of a pedestrian environment along the street with parking at the rear, and guidelines for site and streetscape design.

FINDINGS: The project is consistent with the Principles of the Secretary of the Interior's Standards for the Treatment of Historic Properties.

FACTS: As conditioned, the project complies with this finding. The project proposes a new use that requires some additional square footage to be added to the building and some interior reorganizing of spaces which has some minor effects on the exterior. The main addition can be accomplished at the rear elevation so it is minimally visible. The Structure of Merit has had prior alterations but the current project improves upon the design of one prior inappropriate alteration, and generally proposes compatible materials and elements that will help protect the existing integrity. It will also replace incompatible windows with wood windows, and preserve existing materials and features to the extent possible. The historic building and its distinctive, character-defining features will generally be preserved, and the additions are compatible with the architecture. The project conditions encourage repair of existing wood windows with replacement in-kind as necessary. Ground disturbance will be minimal and will occur in areas that have been previously disturbed. Conditions ensure that no chemical or physical treatments that would damage historic materials will be used.

IV. BACKGROUND/HISTORY:

This circa 1901 Classic Box two story wood frame single family home is rectangular in plan. It is sheathed in narrow wood clapboard siding. The slightly bellcast hipped roof is sheathed in composition shingles. A cross gable projection on the second story shelters an open balcony on the front elevation with two Doric columns. The left portion of the original full width first floor front porch was enclosed as a bay and stuccoed in 1946 to serve as a barbershop. The fenestration on the rest of the porch has been altered (date unknown) with the addition of a second door and two windows to create an office. The front porch has a small gable over the front door and has two slender Doric columns supporting it. The second story gable ends each have an arched louvered vent. Windows are currently boarded up, but as described in the DPR form for the property, were double hung wood sashes. The wood sashes in the enclosed front bay were not original to the home. Original windows were one-over-one double-hung wood sashes, framed by wide flat trim, although several of the windows on the sides and rear had been changed to aluminum; wall patching also indicates some of those window openings had been changed in size. The broad front steps are concrete and currently have no stoop or handrail. The roof is of composition rolled sheeting material. The eaves are enclosed. Narrow clapboard siding covers the house, except for the stucco finish added in 1946 to the enclosed portion of the front porch. The color of cornices, columns, doors and window trims have been painted to contrast with the body of the house. Parking was provided in the past by paving the front yard with asphalt.

According to *Riverside Daily Press* articles, the house at 2586 University Avenue (originally Eighth Street) was built circa 1901 by contractor J. A. Clendenen for J. H. Jones. It was sold upon completion to W. D. Ennor. Ennor was president of the Riverside Prohibition Alliance No. #14 and held meetings of the Alliance in his home between 1902 and 1909. By 1928 the home was owned by Sigurd Christian Oien and his wife, Clarissa Oien, who occupied the home until at least 1943. It was in 1946 when the new owner, William Schenk, completed the addition at the left front of the home to make a small barber shop for himself which he owned until about 1956. A real estate office occupied at least a portion of the home in the 1960s, and between that time and 1997, the single family home was converted without permits into three dwelling units. The building was restored to a single family use with permits in 1997.

In 2004, CHB approval was granted for replacement of wood sash and non-historic aluminum windows with vinyl windows based on reported extreme deterioration, as well as replacement of some termite damaged historic wood siding with new redwood siding to match. However, there are no corresponding permits to indicate that this work was ever completed. The applicant has indicated that the windows were not replaced but the condition of the wood windows will have to be assessed as they get into construction. Also in 2004 and 2006, permit applications were submitted by a prior owner to repair the foundation and convert the residence to commercial occupancy, respectively, but those permits were never issued and the commercial conversion application was withdrawn.

This property is located within White's Addition, an early subdivision east of the original Southern California Colony Association lands that was approved in 1892. The construction date is estimated as 1901, since the home does not appear on the 1895 Sanborn map but does appear on the 1908 Sanborn and Ennor was holding meetings there as early as 1902. The property is designated Structure of Merit #155, and was designated based on its historic significance and not its architectural integrity. It is located adjacent to Structure of Merit #156 at 2562 University

Avenue, which was built at about the same time and exhibits a style and features that are similar to the subject property. The building at 2562 University is on a separate lot and is not a part of this project. The subject property is not located within a historic district, but it is within the overlapping survey areas for the Eastside and the University Specific Plan. It abuts the Ninth Street Potential Neighborhood Conservation Area to the south. The house is significant as one of the last and most substantial examples of residential architecture of the early White's Addition that predated the commercialization of the University Avenue corridor beginning in the mid-1900s.

V. DETAILED PROJECT DESCRIPTION:

The proposed project will create the first bed and breakfast inn in Riverside after the City's adoption of Section 19.325 of Title 19. Details of the project include:

- Repair, restoration and rehabilitation of the historic home for use as a bed and breakfast inn comprised of six guest rooms and the on-site manager's room:
 - Replacement of an existing one story addition at the rear with a new two story addition that will not be visible from the street;
 - Modification of a circa 1946 front addition to a more compatible design;
 - Addition of small bay pop-outs at the second story side elevations;
 - Addition of a small balcony extension to the left of the existing second story front balcony;
 - Replacement of previously altered/aluminum windows with double hung wood sashes;
 - Addition of a deck and railing to expand the existing front entry porch;
 - Addition of cladding to the foundation, which needs to be repaired, consisting of brick veneer and taking the veneer up the first story walls at small sections of the side elevations;
 - Replacement of asphalt roof shingles;
 - Other minor exterior enhancements including painting in a three color palette of cream walls with brown window sashes and pewter trim; and
 - Interior space modifications to accommodate guest rooms, reception and common areas including a dining area to accommodate bed and breakfast guests in the morning and take-out guests during the mid-day between check-out and check-in of inn guests.

- Site improvements will include:
 - new walkways, hardscape and landscape;
 - a widened driveway approach; new permeable paver driveway at the left side (with a turf block passenger drop-off pullout) leading to a new permeable paver parking lot with landscaping at the rear of the building;
 - ADA accessibility improvements at the front and rear of the home; and
 - a six foot high monument sign within the front yard planter as well as a small sign on the building.

- The project also requires approval of a Minor Conditional Use Permit in accordance with Section 19.325 of the Zoning Code to allow conversion of a designated historic structure to limited commercial use, in this case a bed and breakfast inn. In addition, the eleven foot width of the existing driveway area (which cannot be widened due to the presence of the historic home), does not meet the minimum width requirements for a drive aisle so a

Variance will also need to be approved. These are discussed in the Zoning Compliance section later in this report.

LOCATION/SURROUNDING LAND USES:

	Existing Land Use	General Plan Designation	Zoning/SP Designation
Project Site	Vacant Residential	MU-N, Mixed Use-Neighborhood	CR-SP, Commercial Retail, Specific Plan
North	Commercial	MU-N	CR-SP
East	Multi-Family Residential/Commercial	MU-N	CR-SP
South	Residential	MDR, Medium Density Residential	R-1-7000
West	Commercial	MU-N	CR-SP

VI. PROJECT ANALYSIS:

- **Compliance with section 20.25.050 of the City of Riverside Municipal Code:**

This section evaluates the project’s consistency with Section 20.25.050, including the Secretary of the Interior’s Standards for the Treatment of Historic Properties, as regards compatibility or impacts on the historic building from the rehabilitation of the building and related site improvements. The project has evolved through the process of review with staff and the applicants have been responsive and increasingly sensitive throughout the process toward retaining the existing character of the structure and making changes to accomplish this.

To the extent possible, the project will preserve and repair existing materials. Where necessary, the majority of features and materials damaged beyond repair will be replaced like-for-like. There have already been inappropriate and/or unpermitted modifications to some windows and window and door openings. The bed and breakfast plan shows some additional modifications to window openings to achieve the necessary interior room configurations; project conditions encourage the re-use of existing historic window sashes to new locations, and require consistent window trim throughout. The prior 2004 CHB approval to replace some windows with vinyl that wasn’t implemented indicated that many of the original windows may be beyond repair. If this is the case, the applicant is proposing to utilize high quality Andersen wood windows. Conditions will require the historic proportions and operation to be matched where visible from the street.

Staff feels that the project as it is now proposed retains sufficient integrity, and in some cases improves compatibility, while still making the alterations necessary to create a viable and successful bed and breakfast inn. The following project details warrant further analysis:

Alteration of visible elevations: Some alterations at visible elevations are proposed by the project, so the evaluation of the project under the Secretary of the Interior’s Standards and the Citywide Residential Historic District Design Guidelines focuses particular attention to these details in light of the building’s status as a Structure of Merit and its past history of alterations.

The proposed alterations of existing features, visible either on the front or at the forward portion of the left side elevation next to the driveway, include: redesigning the existing front enclosure bay with a more historically compatible appearance and cladding; creating a small balcony for the guest room and changing an existing window to a door at the left side of the second story front elevation; removing the existing first story door and second story window that face University on the left side pop-out; removing one window at the forward portion of the left elevation and installing two windows; slightly increasing the height of the left side gable roof and extending the wall out slightly, which will entail reconstructing this existing element; cladding the foundation, which photographs show is at least partially brick, with brick; carrying the brick veneer up the first floor wall at the pop-out on the side elevations; and adding a deck and railing in front of the existing front porch to expand this space.

Of these changes, the primary concerns are the alterations to the front. Staff fully supports redesigning the existing porch enclosure to be more architecturally compatible with the historic structure. The roof on the existing enclosure is not the original roof, so creating a more appropriate roof section with a low pitch and asphalt shingles and a small balcony above it – which will be a positive amenity for the guest room – is acceptable. The new balcony is stepped back from the front face of the original central balcony and will have an open railing to ensure it is differentiated and yet still compatible with existing character-defining features. It is likely that the front porch had a railing across the front in the past, and conditions will require the deck floor to be wood or an acceptable alternative material while retaining the original porch floor material to differentiate the expansion and ensure it is reversible. The other modifications that will be somewhat visible next to the driveway are the number and placement of windows at the forward portion of the left side elevation; addition of small amounts of brick veneer; and modifications to the small side gable. The brick veneer is a compatible material and is used in small amounts to add aesthetic interest. Existing siding will likely be removed to add the veneer, but the salvaged siding could then be used at the re-designed front enclosure bay. The gable is a minor alteration whose design is consistent with the existing element. Modifications to the windows are mitigated by generally matching the historic style and operation of windows and bringing them all back to wood sashes.

Replacement of prior rear addition and right side modifications: There are no permits on file for the shed roofed addition at the rear of the home. However, this single story element appears on the 1908 Sanborn map as two small single story projecting wings with a wide covered porch spanning between them, so it dates at least to that time or earlier. Current photographs show the condition and integrity of this element is poor with haphazard materials enclosing the porch. Its replacement with a proposed two story addition will allow for the added square footage necessary to create a viable bed and breakfast to occur in an area of the structure that was previously modified. This helps to limit the extent of alterations to the original primary house structure, with the exception of the roofline which will be extended to the rear but will be no higher than the existing hipped roof ridge. The design of the new addition is appropriate and compatible, and will not be seen from public vantage points. The right side elevation of the structure will be modified in terms of the location and increased number of windows, and the addition of a second story pop-out with a gable roof designed consistent with the gable on the other side of the structure. While this elevation may currently be visible due to the vacant lot next door, it is on the narrower side yard and will eventually be obscured when redevelopment of the vacant lot occurs.

Site improvements: In recent past years, the entire front yard of this property had been paved with asphalt. This project represents a unique opportunity to restore a more residential front yard character and feeling to the property, consistent with its historic use. The proposed monument sign is small and consistent in design and materials with the architecture of the home. It is also consistent with the City’s Sign Ordinance for monument signs appropriate within this commercial corridor of University Avenue. The smaller hanging sign proposed on the inn is consistent with the residential character of bed and breakfast inns envisioned by Section 19.325. The landscape palette utilizes plantings that are compatible with the architectural character of the building, City design guidelines and criteria for water use. The front yard planters will primarily be white iceberg roses lined with boxwood hedges and trees and compatible with the transitional Victorian to Craftsman period of the home. The “aerial hedge” of trees and solid, stuccoed wall adjacent to residential uses that are required by the University Specific Plan are proposed to be completed along the rear property line, with the wall extending along the side property lines as well to replace existing block and chain link fencing. A compatible combination used brick column and wrought iron panel fence 2’-8” in height is proposed along the front property line, allowing the front yard landscape to be visible from the street and sidewalk.

Driveway approach and street trees: To keep the more residential feel to the site, the small pull-out for guest drop-off at the side of the driveway will be turf block, rather than asphalt. The driveway and the parking lot will all be constructed of permeable paving. Public Works has reviewed the proposed widening of the existing driveway approach on the subject property’s side, and supports it for traffic flow along University Avenue. One of the existing street trees and equipment may be impacted but the applicant will coordinate with Public Works – Street Trees regarding this tree and any potential need for adjustments to right-of-way irrigation, meters or other facilities.

- **General Plan/Specific Plan/Zoning Conformance:**

General Plan: The proposed project is consistent with the existing General Plan land use designation for the project site because it involves a use that bridges residential and commercial. Bed and breakfasts are considered to be residential occupancies, consistent with the existing residential occupancy of the building. The Mixed Use-Neighborhood land use calls for retail, office and residential uses in the area. Horizontal integration is the primary development pattern (that is, from lot to lot), with vertical integration of mixed uses in the same building encouraged when feasible within the one-to-two story building height vision.

Specific Plan: The University Avenue Specific Plan is silent with respect to bed and breakfast inns. The more commercial uses of hotel and motel are not permitted in this particular sub-zone district of University Avenue. However, as noted above, bed and breakfast inns are typically considered to be residential in nature, which is a permitted use in this district. Moreover, a bed and breakfast inn within a designated historic structure is a separately regulated use per Title 19. It is appropriate and often stipulated or required to defer to a section of Title 19 when a Specific Plan is silent on a particular standard.

Zoning: As set forth in Section 19.325 of the Riverside Municipal Code and the University Specific Plan, the proposed bed and breakfast inn meets the minimum development standards subject to a Minor Conditional Use Permit and a Variance:

Minor Conditional Use Permit: Title 19 of the Riverside Municipal Code, Section 19.325, provides for historic residences to be used for either retail, office or a bed and breakfast inn under certain criteria. The overarching standard is that the use needs to be developed and maintained to *substantially* preserve the significant historic characteristics of the structure and its site and to be compatible with the surrounding neighborhood.

The criteria primarily assume the use might be located in a residential zone (which is not the case in this instance, but the project meets the requirements). These include access to a public street, provision of parking at the side or rear, and front yard areas to be landscaped and residential in appearance. Operationally, the inn must be managed and occupied by an owner of the property with no more than six guest rooms and meals provided to guests.

Variance: Title 19 of the Riverside Municipal Code, Section 19.580.080(C), requires a minimum twenty foot wide driveway for two-way traffic. The project proposes an eleven foot driveway, which requires a variance in accordance with Section 19.720 of Title 19.

Due to the presence of the existing historic structure, built at a time when there were no or very few cars, the area available for a driveway is limited. This type of situation has occurred with historic structures being re-used for other functions in the past and has been demonstrated to work.

These two cases are administrative and will be decided by the Zoning Administrator; both were noticed at the same time as the Certificate of Appropriateness and will be decided on the same day as the CHB meeting through an administrative process.

VII. PUBLIC NOTICE AND COMMENTS:

Public notices were mailed to property owners within 300 feet of the site due to noticing requirements of the two related planning cases. No comments have been received to date.

IX. EXHIBITS:

1. Location Map
2. Aerial Photograph
3. Project Plans
4. Sign Program
5. Site Photographs
6. Historic Photographs
7. Property DPR Form

STANDARD AND CASE-SPECIFIC CONDITIONS

Case Number: P13-0651

Meeting Date: December 18, 2013

Standard Conditions

1. The project must be complete per the Cultural Heritage Board's approval, including all conditions listed below. Any subsequent changes to the project must be approved by the Cultural Heritage Board or the Cultural Heritage Board staff. Upon completion of the project, a Cultural Heritage Board staff inspection must be requested to ensure that the approved plans have been executed and that all conditions have been implemented before **UTILITIES** hold can be released.
2. Actions by the Cultural Heritage Board, including any environmental finding may be appealed. There is a ten day appeal period that will lapse at 5:00 p.m. on December 30, 2013. Appeals of the Board's action will not be accepted after this time. The appeal fee is \$1,531.20. Appeals will be considered by the Land Use Committee of the City Council at their next available meeting. Appeal processing information may be obtained from the Community Development Department, Planning Division, Public Information Section, 3rd Floor, City Hall.
3. This approval will expire in one year on December 18, 2014, and/or on the date the approved minor conditional use permit expires.
4. The granting of this request shall in no way exclude or excuse compliance with all other applicable rules and regulations in effect at the time this permit is exercised and continually thereafter.

Case-Specific

Planning

5. This project is subject to the concurrent approval of a minor conditional use permit (P13-0650) and a variance (P13-0937). All applicable conditions of P13-0650 and P13-0937 shall apply. Failure of the applicant to obtain approval for P13-0650 and P13-0937 shall render this approval null and void, subject to any appeal process.
6. *Advisory:* Municipal Code Section 19.325, Historic Residence Used for Retail Business, Office or Bed and Breakfast Inn, applies to this project as and if concurrently approved by P13-0650. Section 19.325 contains the provisions, regulations and criteria by which a bed and breakfast may operate within a historic residence to ensure compatibility of such uses with surrounding uses and properties. Refer to said section and conditions of P13-0650.
7. Acknowledging the additions and alterations contemplated in the project plans, the applicant shall endeavor to retain, preserve and restore existing, historic, original materials in their existing/reconstructed locations to the maximum extent possible, or match them like-for-like, and shall salvage other existing, historic, original materials for re-use elsewhere on the building to the satisfaction of CHB staff. This specifically includes the existing standard and fish-scale shingles at gable ends and balcony, attic vents, porch posts and capitals, original windows, doors, siding, soffits and trim, etc., some of which is further detailed in the conditions below.

8. Prior to issuance of building permits, the applicant shall revise the building permit plan check plans to incorporate all of the following changes or submit the necessary information:
 - a. Original windows on the historic building shall be repaired if possible, or replaced in kind if too deteriorated. Existing original windows in good condition that are proposed to be removed shall be salvaged and re-used in proposed locations to the extent possible. Existing non-original windows shall be replaced as indicated on the approved conceptual plans. A window schedule shall be provided for CHB staff review and approval to show replacement wood sash windows that match the dimensions, arrangement of panes and operation of the original windows, and new windows that are compatible with the style, arrangement of panes and operation of original windows to the extent possible.
 - b. The design of exterior doors shall be compatible with the existing residence doors and shall be made of wood. New doors shall have wood frames and trim to match the existing original wood framed windows and/or doors.
 - c. Provide details to clearly show eave overhangs and soffits to match the original structure.
 - d. Where removed for construction of the rear addition, original wood siding in good condition shall be salvaged and stored for re-use on the front and visible elevations as a priority, and other areas of the home as a secondary priority. Window and/or door openings proposed to be eliminated shall be filled in with siding to match existing. Any new or procured siding shall be made of wood and be of the same dimensions, profile and finish as the original, spliced in to match.
 - e. A material sample of the proposed permeable pavers, turf block, and front porch deck flooring compatible with the site's historic character shall be submitted for review and approval of CHB staff.
 - f. The front porch shall be repaired, or if too deteriorated, shall be replaced to match the original configuration and material. The deck expansion to the porch shall use flooring of a compatible but different material flush with the porch floor surface so that the original porch is still identifiable. The railing at the right side of the porch shall remain and the new railings on the deck shall match it in style, material and dimensions, etc.
 - g. The decking/floor, railings and handrails, etc., of the ADA ramp(s) shall be compatible with the historic character of the site subject to review and approval of CHB staff.
 - h. Unless otherwise approved by CHB staff, on-site walkways shall be gray concrete with historically appropriate scoring, without any modern finishes or added colors.
9. Submit three sets of plans depicting the exact size, design, color and location of any required water meters, water backflow preventer, irrigation controllers and all on and off-site utility cabinets, as necessary, to CHB staff. These plans will be reviewed and approved by the Public Utilities Water Department and CHB staff. The design shall include the smallest preventer possible, painted green (unless determined otherwise by staff) with landscape or other screening. Any equipment metal mesh cages shall be painted green and incorporate landscaping around the cages. The visibility of these facilities shall be minimized to CHB staff satisfaction through

means including but not limited to relocation or additional landscaping, etc. The applicant is advised to consult with the Public Utilities Water Department prior to preparing these plans.

10. Prior to approval of the final inspection, the installation of the landscape and irrigation per the approved plans must be complete. Call CHB staff to schedule the final inspection at least a week prior to needing the release of utilities. Upon final inspection of landscaping, if staff finds that the amount of landscaping is insufficient, staff will require additional plants/shrubs/groundcover/mulch.
11. An exterior lighting plan shall be submitted to CHB staff for review and approval. A photometric study of all exterior lighting proposed on the building, yards and within the parking lot shall be submitted with the exterior lighting plan. The applicant shall submit a product information sheet or manufacturer's brochure showing the proposed outdoor lighting fixtures to CHB staff for approval. Proposed lighting fixtures shall be appropriate to the building's age and architecture. All site lighting shall provide a **minimum** intensity of one foot-candle **and a maximum intensity of ten foot-candles** at ground level throughout the areas serving the public and used for parking, with a ratio of average light to minimum light of four to one (4:1). The light sources shall be shielded to minimize off-site glare, shall not direct light skyward and shall be directed away from adjacent properties and public right-of-ways. If lights are proposed to be mounted on buildings, down-lights shall be utilized. Light poles shall not exceed twenty (14) feet in height, including the height of any concrete or other base material.
12. The monument sign and building sign shall be permitted in accordance with Chapter 19.620 of the Zoning Code, and shall be consistent with the approved sign program for the project. A separate sign permit application, including fees and additional sets of plans, will be necessary prior to sign permit issuance.
13. During all project site construction, the construction contractor shall limit all construction-related activities that would result in high noise levels to between the hours of 7:00 a.m. and 7:00 p.m., Monday through Friday and between the hours of 8:00 a.m. and 5:00 p.m. on Saturdays. No construction is permitted on Sundays or federal holidays.

Public Works – Development

14. Modification of the existing driveway approach on University Avenue shall be to Public Works specifications. No work shall occur within the public right-of-way prior to obtaining a Construction Permit from Public Works.
15. If required as determined by the Public Works Director or designee, then prior to issuance of a building or grading permit, the applicant shall submit to the City for review and approval, a project-specific WQMP and associated requirements that:
 - a. Addresses Site Design BMP's such as minimizing impervious areas, maximizing permeability, minimizing directly connected impervious areas, creating reduced or "zero discharge" areas and conserving natural areas;
 - b. Incorporates the applicable Source Control BMP's as described in the Santa Ana River Region WQMP and provides a detailed description of their implementation;

- c. Incorporates Treatment Control BMP's as described in the Santa Ana River Region WQMP and provides information regarding design considerations;
 - d. Describes the long-term operation and maintenance requirements for BMP's requiring long-term maintenance; and
 - e. Describes the mechanism for funding the long-term operation and maintenance of the BMP's requiring long-term maintenance.
 - f. The property owner shall also record a "Covenant and Agreement" with the County-Clerk Recorder or other instrument acceptable to the City Attorney to inform future property owners of the requirement to implement the approved project-specific WQMP. Other alternative instruments for requiring implementation of the approved project-specific WQMP include: requiring the implementation of the project-specific WQMP in the Home Owners Association or Property Owners Association Conditions, Covenants and Restrictions (C,C&R's); formation of Landscape, Lighting and Maintenance Districts, Assessment Districts or Community Service Areas responsible for implementing the project-specific WQMP; or equivalent may also be considered. Alternative instruments must be approved by the City prior to the issuance of any building or grading permits.
16. Prior to building or grading permit closeout or the issuance of a certificate of occupancy/use or release of utility hold, if a WQMP was required, the applicant shall:
- a. Demonstrate that all structural BMP's described in the project-specific WQMP have been constructed and installed in conformance with approved plans and specifications;
 - b. Demonstrate that applicant is prepared to implement all non-structural BMP's described in the approved project-specific WQMP; and
 - c. Demonstrate that an adequate number of copies of the approved project-specific WQMP are available for the future owners/ occupants.

Public Works – Street Trees

17. Protect existing City maintained trees, landscaping and irrigation in place. If driveway widening affects said features and facilities, contact Public Works at 951-351-6313 to propose and coordinate solutions for their review and approval prior to issuance of the required Public Works Construction Permit.

Public Utilities – Water

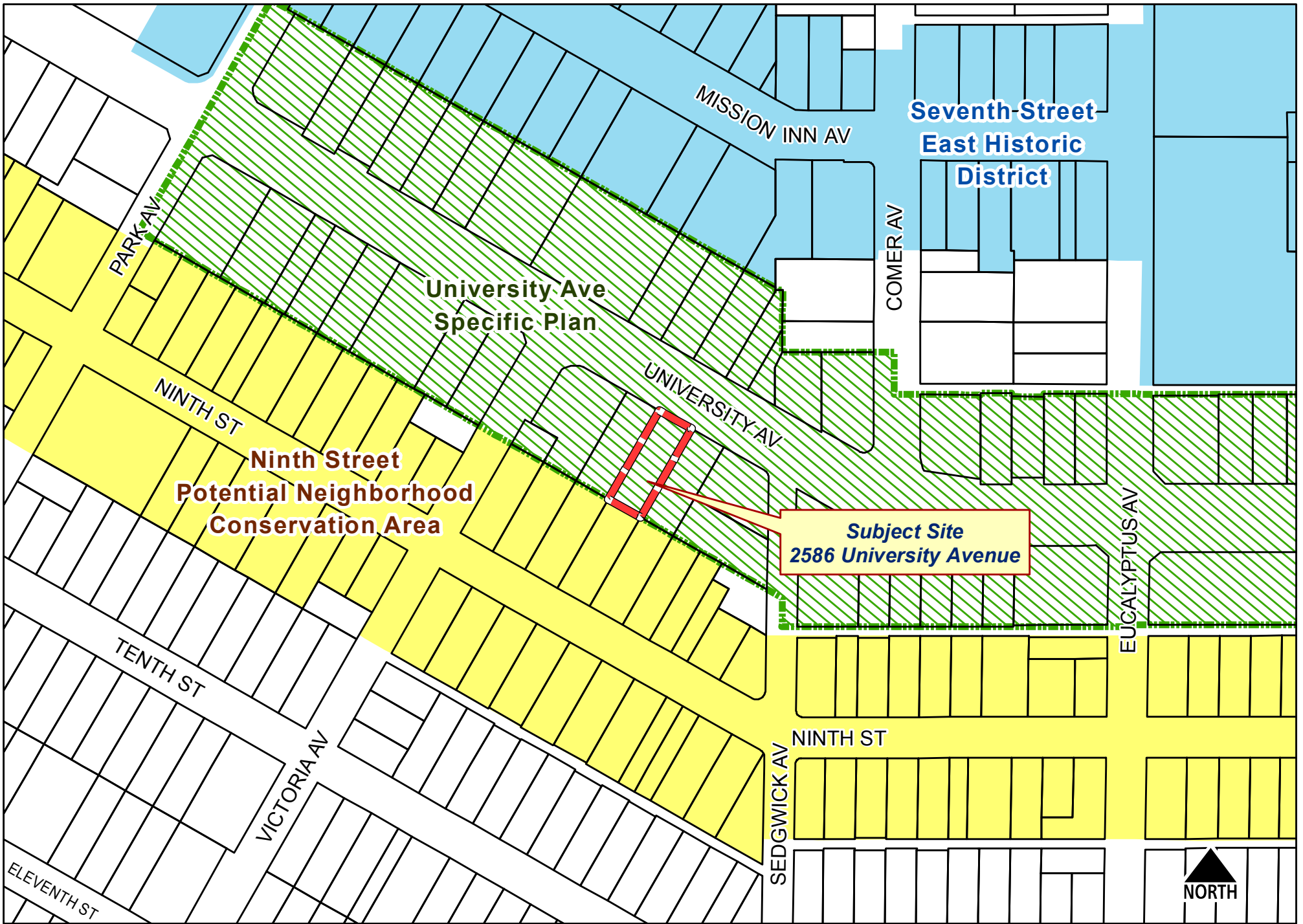
18. *Advisory:* All utilities shall be satisfactorily relocated, protected and/or replaced to the specifications of the affected departments and agencies.
19. *Advisory:* The provision of water facilities required in accordance with the City of Riverside Public Utilities Water Rules.
20. *Advisory:* The provision of utility fees and charges required in accordance with the City of Riverside Public Utilities Water Rules.

Fire

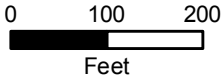
21. Contact Margaret Albanese at 951-826-5455 for questions regarding fire conditions or corrections. The following to be met prior to construction permit issuance:
 - a. Requirements for construction shall follow the currently adopted California Building Code and California Fire Code with City of Riverside amendments.
 - b. Construction plans shall be submitted and permitted prior to construction.
 - c. Unless otherwise declared and determined on the permit plans, the Bed and Breakfast is a change in use from an R2 to an R1 occupancy and will require an automatic fire sprinkler system to be installed.
 - d. The fire resistive requirement for the exterior wall on the north/west based on fire separation distance is 1 hour fire resistive construction. 2010 California Building Code, Table 602.

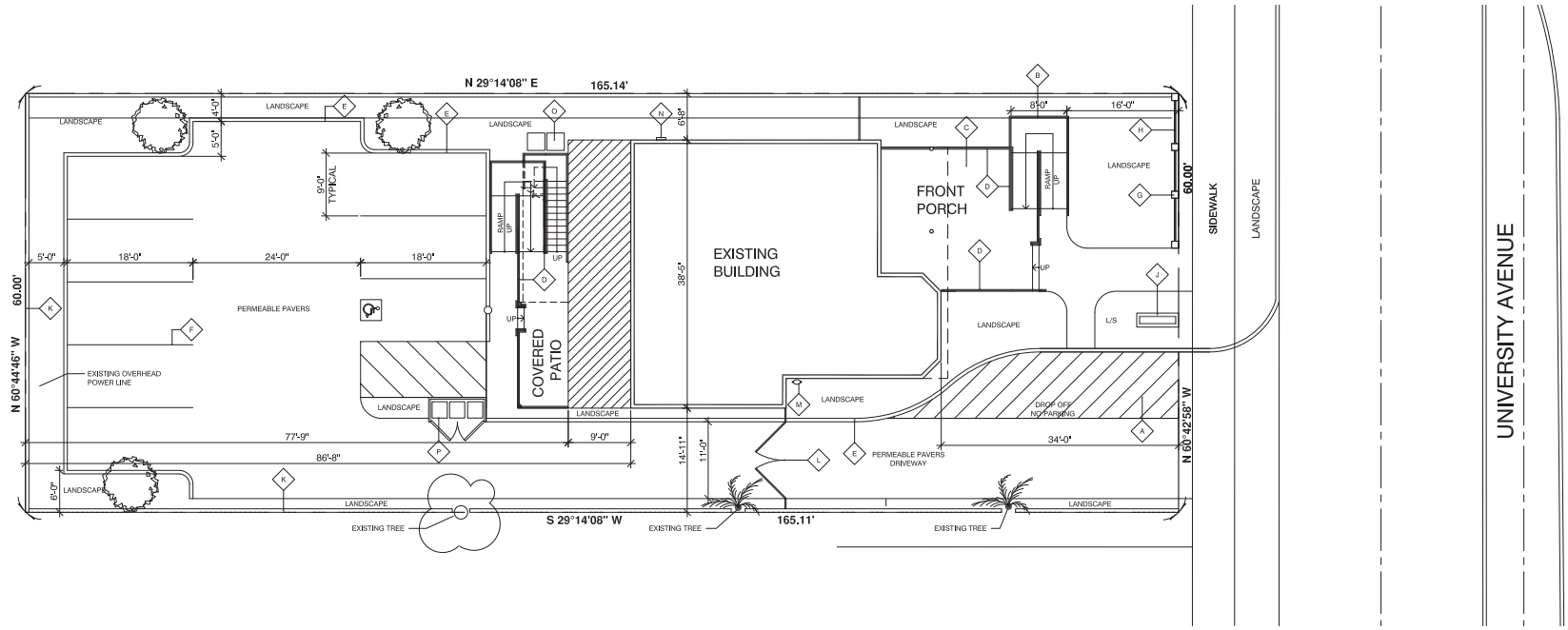
G:\CHB\12-18-2013\P13-0651 rtd.docx

Teri Delcamp

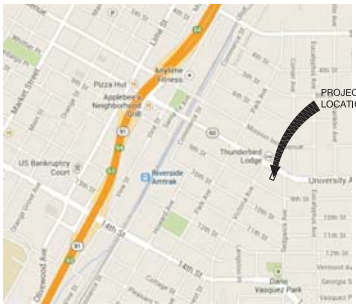


P13-0651, Exhibit 1 - Location Map

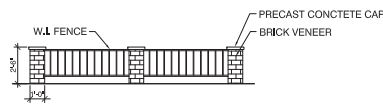




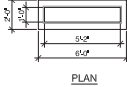
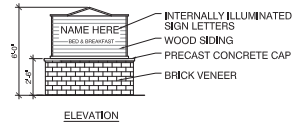
A SITE PLAN
SCALE: 1/8" = 1'-0"



VICINITY MAP
N.T.S.



C FENCE ELEVATION
SCALE: 1/4" = 1'-0"



B MONUMENT SIGN
SCALE: 1/4" = 1'-0"

MATERIALS & FINISHES

- A** DROP OFF ZONE TURF BLOCK
- B** ACCESSIBLE RAMP
- C** FRONT PORCH/ DECK AREA
- D** WOOD HANDRAIL
- E** 6" CURB
- F** PARKING STRIPING
- G** 30" HIGH PILASTER
- H** 30" HIGH WROTH IRON FENCING
- J** MONUMENT SIGN
- K** 6" HIGH BLOCK WALL WITH PLASTER FINISH - COLOR TO MATCH DUNN EDWARDS - VEILED SPOTLIGHT DE6324
- L** 6" HIGH WROTH IRON GATE
- M** GAS METER
- N** ELECTRIC METER
- O** A/C CONDENSER
- P** TRASH BINS

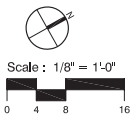
LEGEND:



LEGAL DESCRIPTION			
APN:	211-133-004-7		
PARCEL AREA:	9,907.20 SQ. FT. CR		
ZONING:			
ADDRESS:	2666 UNIVERSITY AVENUE RIVERSIDE, CA 92507		
PROPERTY OWNER:	MXM INC. 2666 E. HUNTINGTON DRIVE DUARTE, CA		
PROJECT SUMMARY			
LIVING SPACE	EXISTING	ADDITION	TOTAL
FIRST FLOOR	1,442 SF	343 SF	1,785 SF
SECOND FLOOR	1,010 SF	775 SF	1,785 SF
TOTAL AREA	2,452 SF	1,118 SF	3,570 SF
NUMBER OF GUEST ROOMS			7 ROOMS
PARKING PROVIDED			8 STALLS
STANDARD PARKING			7 STALLS
ACCESSIBLE PARKING			1 STALLS

PROPOSED SITE PLAN

LADG JOB #:	130411.01
DATE	09/05/2013
REVISIONS	11/15/2013



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2666 E. HUNTINGTON DRIVE
DUARTE, CALIFORNIA

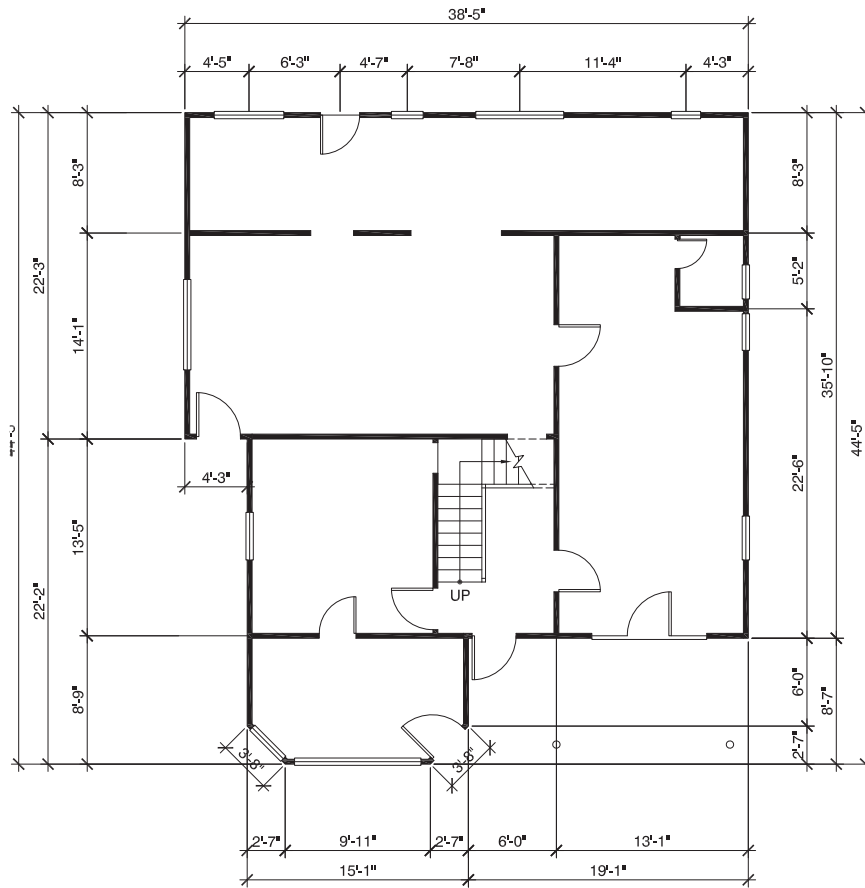
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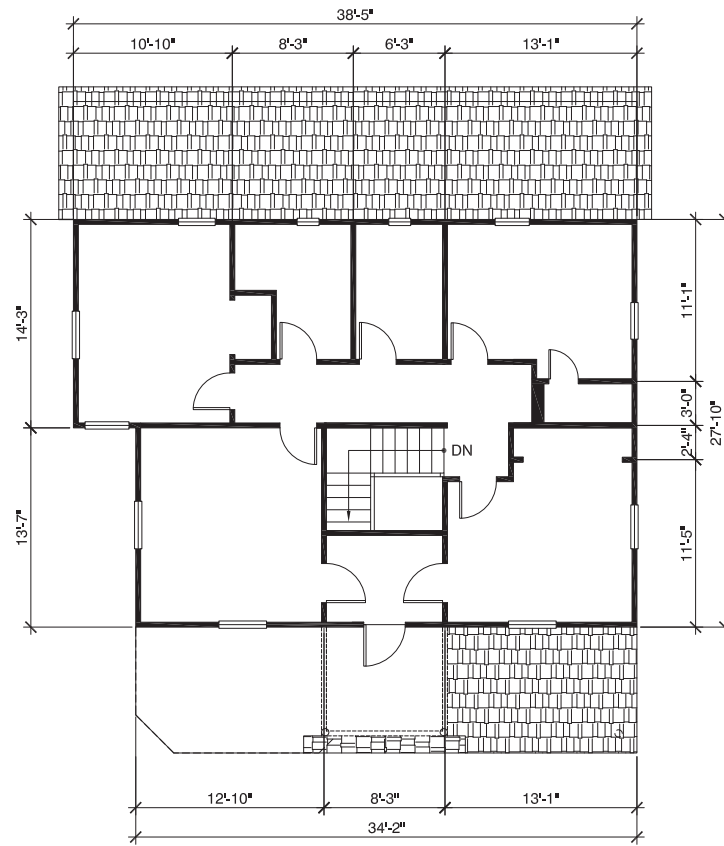
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A FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

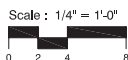


B SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

LEGEND:
 EXISTING CONSTRUCTION TO REMAIN

EXISTING FLOOR PLANS

LADG JOB #:	130411.01
DATE	09/05/2013
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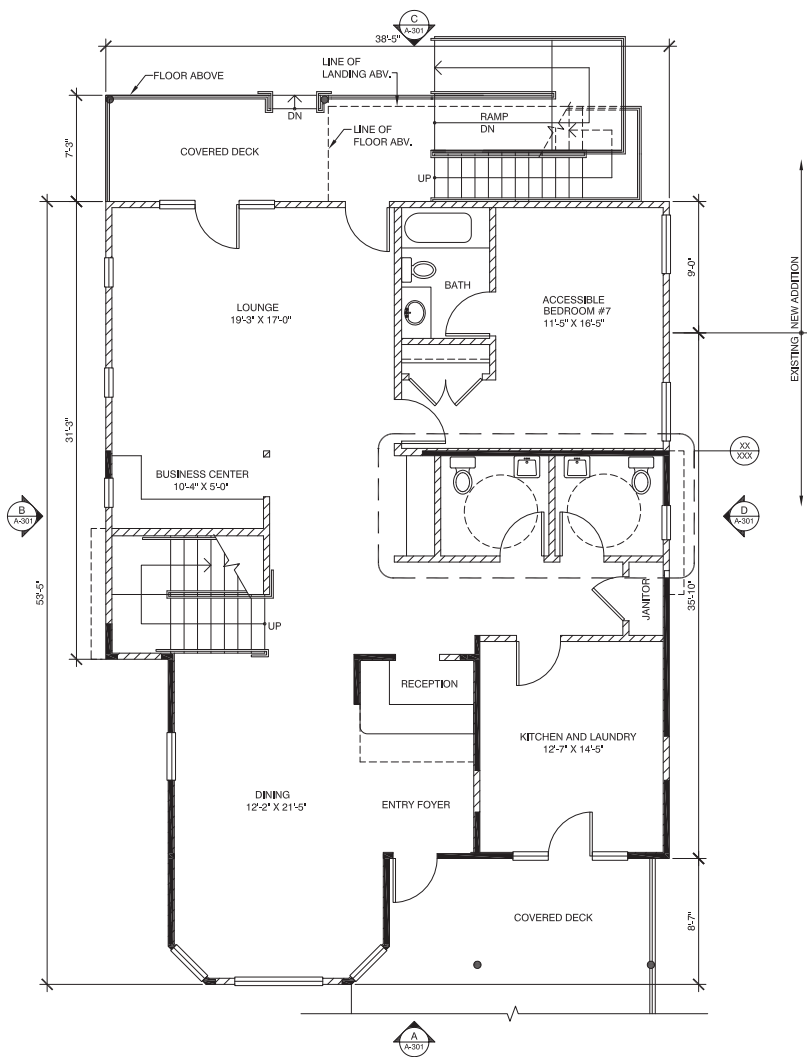
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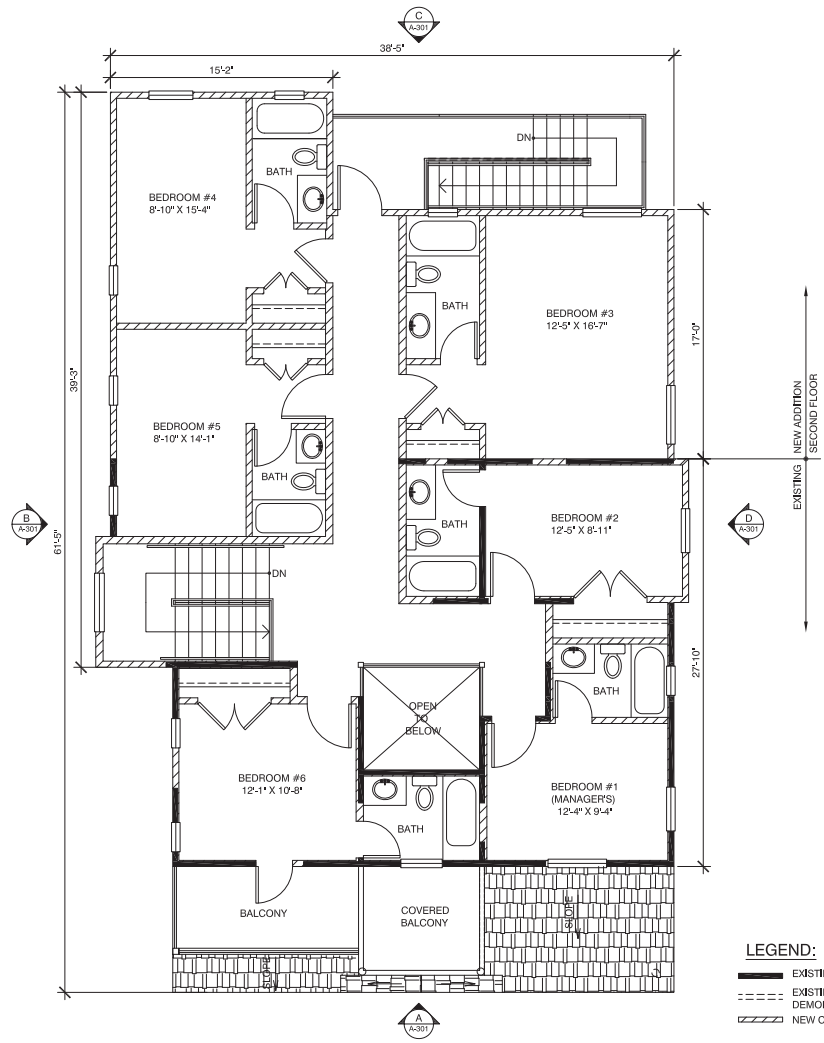
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SCALE: 1/4" = 1'-0"

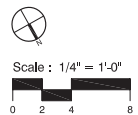


B SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

LEGEND:
 ——— EXISTING CONSTRUCTION TO REMAIN
 - - - - - EXISTING CONSTRUCTION TO BE DEMOLISHED
 // // // NEW CONSTRUCTION

PROPOSED FLOOR PLANS

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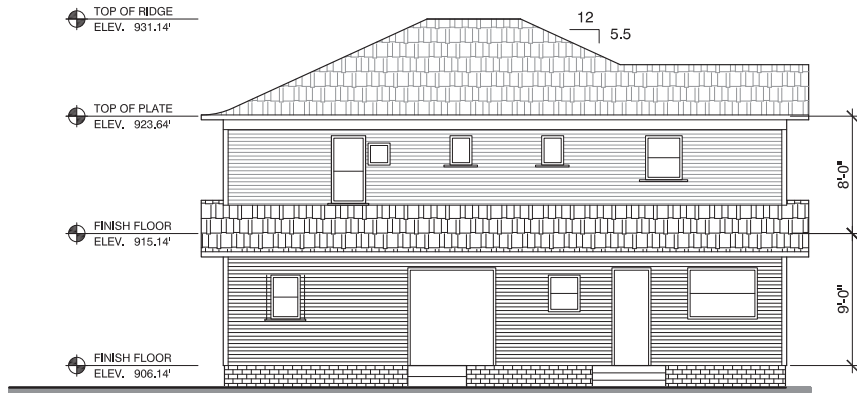




A FRONT ELEVATION
SCALE: 1/4" = 1'-0"



B LEFT ELEVATION
SCALE: 1/4" = 1'-0"



C REAR ELEVATION
SCALE: 1/4" = 1'-0"



D RIGHT ELEVATION
SCALE: 1/4" = 1'-0"

EXISTING ELEVATIONS

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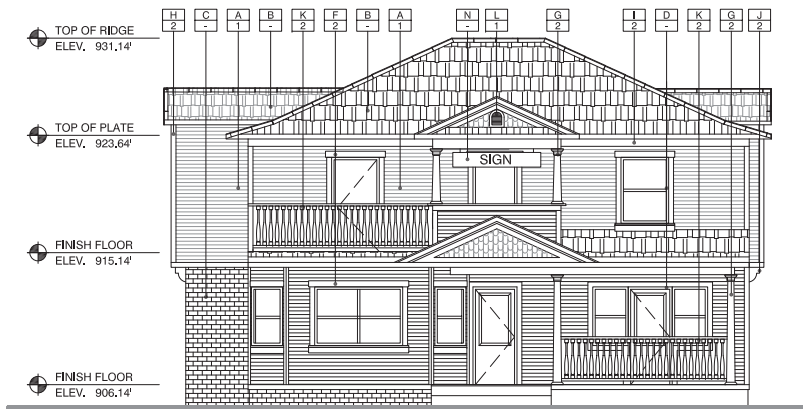
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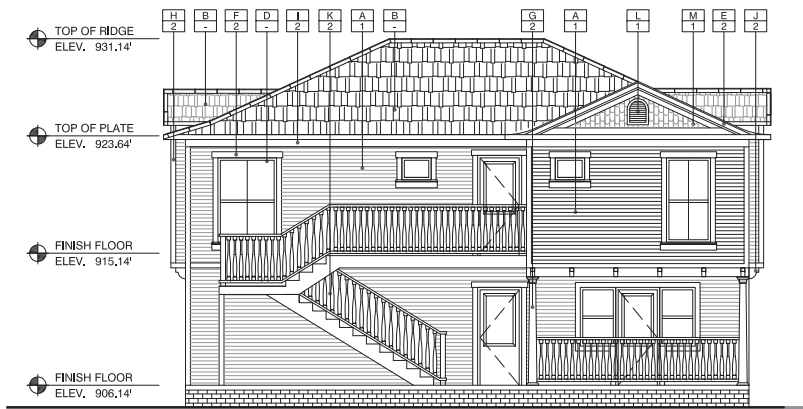




A FRONT ELEVATION
SCALE: 1/4" = 1'-0"



B LEFT ELEVATION
SCALE: 1/4" = 1'-0"



C REAR ELEVATION
SCALE: 1/4" = 1'-0"

MATERIALS & FINISHES

- | | |
|---|--|
| A WOOD SIDING
MATCH EXISTING | E FASCIA BOARD |
| B COMPOSITION ROOF TILE
CERTAINTED, PRESIDENTIAL SHAKE-YOSEMITE | F WOOD WINDOW BAND & SILL TRIM |
| C WEATHERED BRICK VENEER
BORAL, OLD JACKSON | G WOOD COLUMN
MATCH EXISTING |
| D DOUBLE HUNG WOOD WINDOW
ANDERSON WINDOWS | H 1"x4" CORNER BOARD TRIM |



D RIGHT ELEVATION
SCALE: 1/4" = 1'-0"

- | | |
|---|--|
| I 1"x6" BAND BOARD TRIM | M FISH SCALE WOOD SIDING
MATCH EXISTING |
| J WOOD CORBLES
MATCH EXISTING | 1 FIELD COLOR
DUNN EDWARDS - VEILED SPOTLIGHT DE6324 |
| K GUARDRAIL DESIGN BALUSTERS
MATCH EXISTING | 2 ACCENT COLOR
DUNN EDWARDS - DARK PEWTER DE6314 |
| L METAL ATTIC VENT
MATCH EXISTING | |

PROPOSED ELEVATIONS

LADG JOB #:	130411.01
DATE	09/05/2013
REVISIONS	11/15/2013

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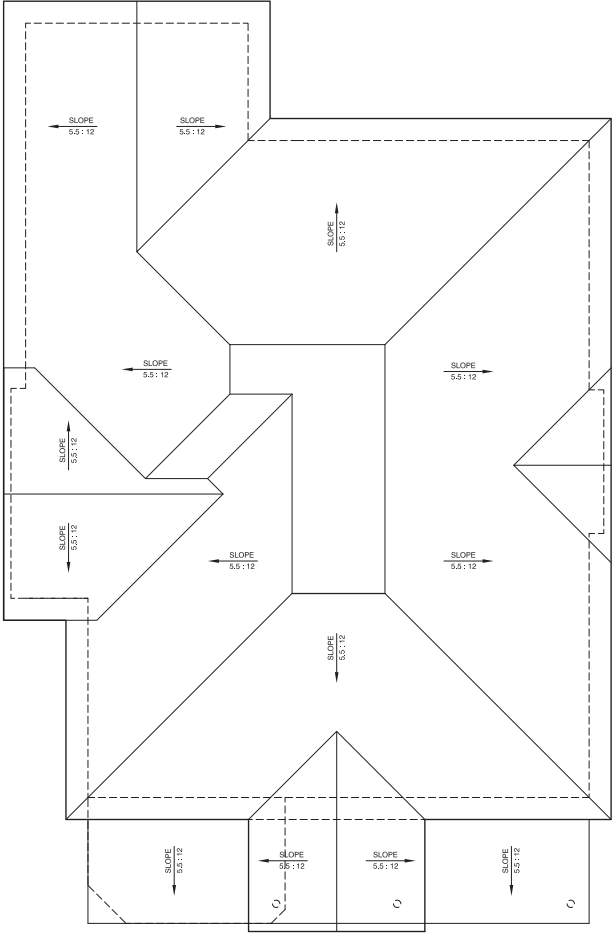
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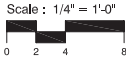




A ROOF PLAN
SCALE: 1/4" = 1'-0"

PROPOSED ROOF PLAN

LADG JOB #:	130411.01
DATE	09/05/2013
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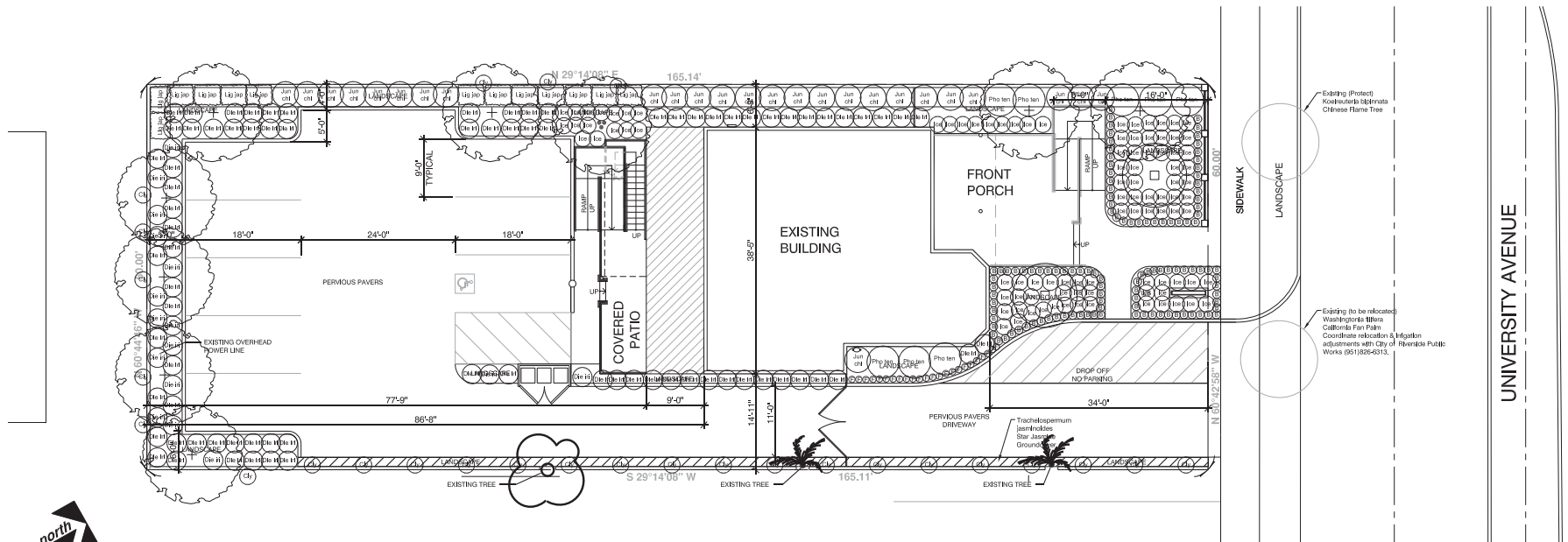
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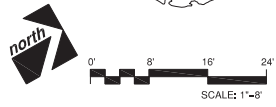
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Existing (Protect)
Koeberlinia bipinnata
Chinese Flame Tree

Existing (to be relocated)
Washingtonia filifera
California Fan Palm
Coordinate relocation & 1/4 gallon
adjustments with City of Riverside Public
Works (951)826-6313.



PLANTING LEGEND

TREES					
SYMBOL	LATIN NAME	COMMON NAME	SIZE	QTY.	DETAIL
	Arbutus 'Marina' (Standard)	Strawberry Tree	24" Box	8	Sheet PD-1, Detail A
	Lagerstromia indica 'Natchez' (Multi Trunk)	Crape Myrtle	36" Box	1	Sheet PD-1, Detail A
	Rhaphiolepis 'Majestic Beauty'	Majestic Beauty Indian Hawthorn	24" Box	2	Sheet PD-1, Detail A

SHRUBS, GROUNDCOVERS & VINES					
SYMBOL/HATCH	LATIN NAME	COMMON NAME	SIZE	QTY.	DETAIL
	Buxus macrophylla	Japanese Boxwood	5 Gallon	112	Sheet PD-1, Detail B
	Clytostoma callistegiodes	Violet Trumpet Vine	5 Gallon	27	Sheet PD-1, Detail D
	Dietes iridioides	Fortnight Lily	15 Gallon	98	Sheet PD-1, Detail B
	Festuca ovina 'Glaucif'	Blue Fescue	1 Gallon	24	Sheet PD-1, Detail B
	Juniperus chinensis 'Blue Point'	Blue Point Juniper	15 Gallon	39	Sheet PD-1, Detail B
	Ligustrum japonicum 'Texanum'	Texas Privet	15 Gallon	13	Sheet PD-1, Detail B
	Phormium tenax 'Yellow Wave'	Yellow Wave New Zealand Flax	15 Gallon	8	Sheet PD-1, Detail B
	Rosa 'Iceberg'	White Iceberg Rose	5 Gallon	97	Sheet PD-1, Detail B
	Trachelospermum jasminoides	Star Jasmine	1 Gallon	36	Sheet PD-1, Detail C

PLANTING PLAN: PP-1

LADG JOB #:	130411.01
DATE	09/05/2013
REVISIONS	11/15/2013



HIRSCH & ASSOCIATES, INC.
 LANDSCAPE ARCHITECTURE & PLANNING
 2221 EAST WINSTON ROAD, SUITE A
 ANAHEIM, CALIFORNIA 92806
 PHONE 714.776.4340 FAX 714.776.4395
 WWW.HAILANDARCH.COM LA#1710



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 AT LEAST THREE DAYS
 BEFORE YOU GO.

UNDERGROUND SERVICE ALERT OF SOUTHERN CALIFORNIA

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P13-0651, Exhibit 3 - Project Plans



Arbutus 'Marina' (Standard)
Strawberry Tree



Lagerstromia indica 'Natchez' (Multi Trunk)
Crape Myrtle



Rhapsiolepis 'Majestic Beauty'
Majestic Beauty Indian Hawthorn



Clytostoma callistegiodes
Violet Trumpet Vine



Buxus macrophylla
Japanese Boxwood



Diets iridioides
Fortnight Lily



Echeveria 'Afterglow'
Afterglow Echeveria



Echeveria 'Imbricata'
Hens and Chicks



Festuca ovina 'Glauca'
Blue Fescue



Juniperus chinensis 'BluePoint'
Blue Point Juniper



Ligustrum japonicum 'Texanum'
Texas Privet



Phormium tenax 'Yellow Wave'
Yellow Wave New Zealand Flax



Rosa 'Iceberg'
White Iceberg Rose



Trachelospermum jasminoides
Star Jasmine

CONCEPTUAL LANDSCAPE PLANTING PLAN - PLANT PHOTOS

LADG JOB #:	130411.01
DATE	09/03/2013
REVISIONS	

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Anaheim, California 92805
PHONE 714.776.4340 FAX 714.776.4395
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RENDERED SITE PLAN

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DATE	09/05/13
REVISIONS	11/05/13

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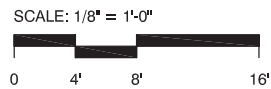


A PROPOSED NORTH ELEVATION
SCALE: 1/8" = 1'-0"

B PROPOSED EAST ELEVATION
SCALE: 1/8" = 1'-0"

PROPOSED NORTH & EAST ELEVATIONS - COLORED

LADG JOB #:	130411
DATE	09/05/13
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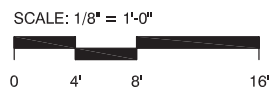


C PROPOSED SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

D PROPOSED WEST ELEVATION
SCALE: 1/8" = 1'-0"

PROPOSED SOUTH & WEST ELEVATIONS - COLORED

LADG JOB #:	130411
DATE	09/05/13
REVISIONS	11/15/13



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RENDERED PERSPECTIVE

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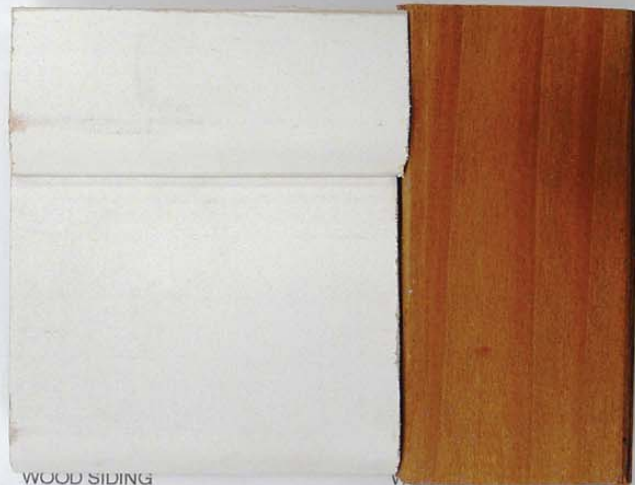
CERTAINTED ROOFING
COLOR - YOSEMITE



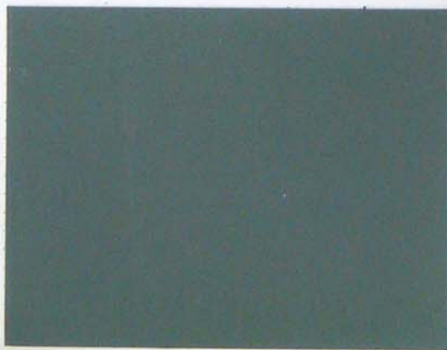
BORAL BRICK VENEER
OLD JACKSON B - QUEEN



FIELD COLOR
DUNN EDWARDS - LATTE FROTH DE6239



WOOD SIDING



ACCENT / TRIM COLOR
DUNN EDWARDS - DARK PEWTER DE6314



WOOD WINDOW TRIM
MOHAGONY COLOR



University Bed & Breakfast

2586 University Avenue
Riverside, California

Sign Plan



September 3, 2013

Developer:
MXM, Inc.
1721 S. Magnolia, Suite E
Monrovia, CA

P13-0651, Exhibit 4
Sign Program

Introduction

University Bed & Breakfast located at 2586 University Avenue in the City of Riverside, California is a planned .227 Acre single tenant parcel. This document sets criteria for the design implementation of project signage.

The Developer/Tenant may implement any or all of the sign types outlined herein in accordance with these guidelines and subject to approval by the City of Riverside. The objectives of the Signage Program are:

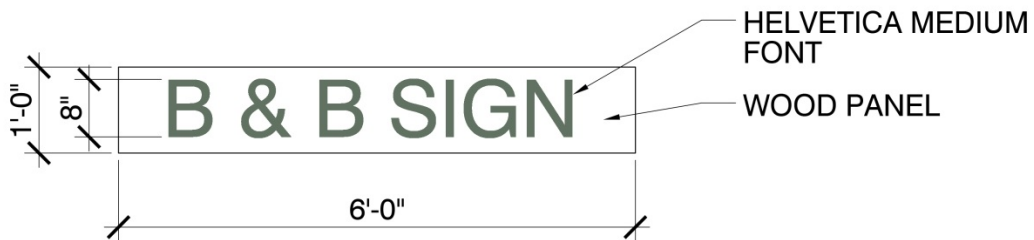
- To generate creative and tasteful signage enhancing the user's image and complimenting architectural and landscape elements.
- To provide signage that is functional and effectively serves the identification needs of the user and its brand.
- To facilitate the review and approval process for signage by providing criteria constituting standards of acceptability for signs at this location.

This Program states the standard for the design of signage for University Bed & Breakfast, including building and Monument Sign.

Unique and high quality signage is an integral part of the design, image and success of this specific user. This Signage Criteria will ensure that signage in this project is designed and executed in a manner which will achieve these objectives while providing superior user identification.

All signage shall be subject to the criteria provided in this program and the City of Riverside sign code ordinance and regulations. If these criteria and the City of Riverside sign code are in a conflict, the most restrictive requirement shall apply.

1. **Building Sign**

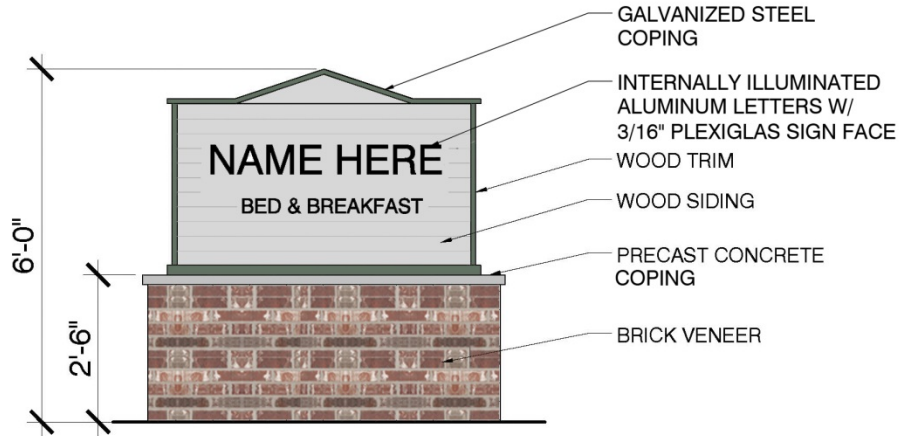


University Bed & Breakfast – Building Canopy Sign

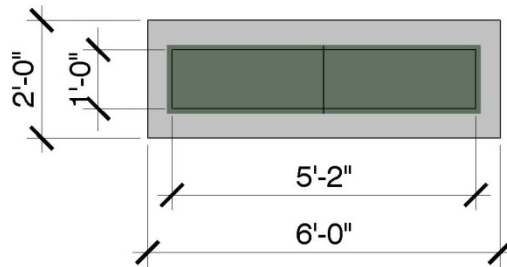
Actual location and size of each sign is determined by University Bed & Breakfast criteria, in conformance with the City of Riverside sign ordinance, and coordination with the City of Riverside for review and approval.

P13-0651, Exhibit 4
Sign Program

2. Monument Sign



ELEVATION



PLAN

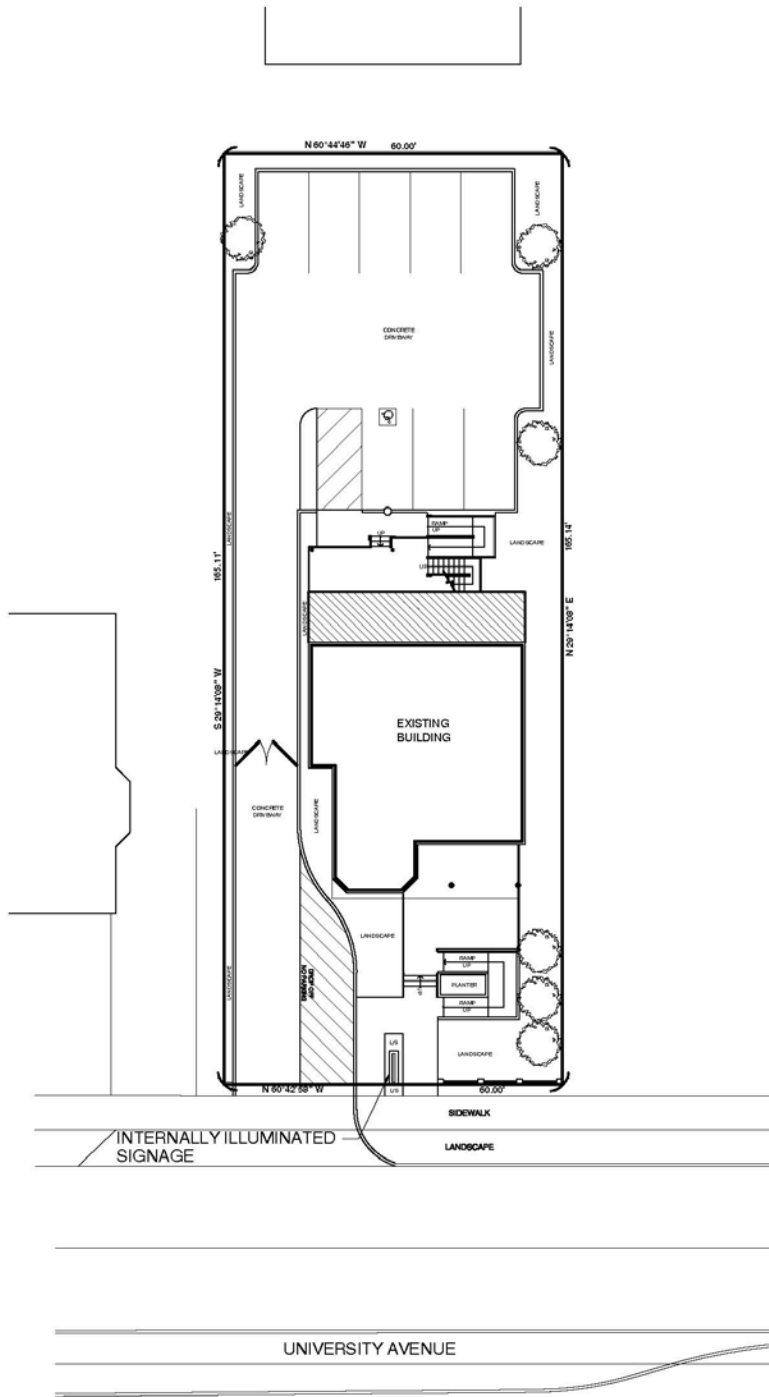
Monument Sign:

Configuration:	As shown below – Double sided
Height:	6'-0"
Width:	6'-0"
Sign Panel Area:	13.5 SF (Each Side)

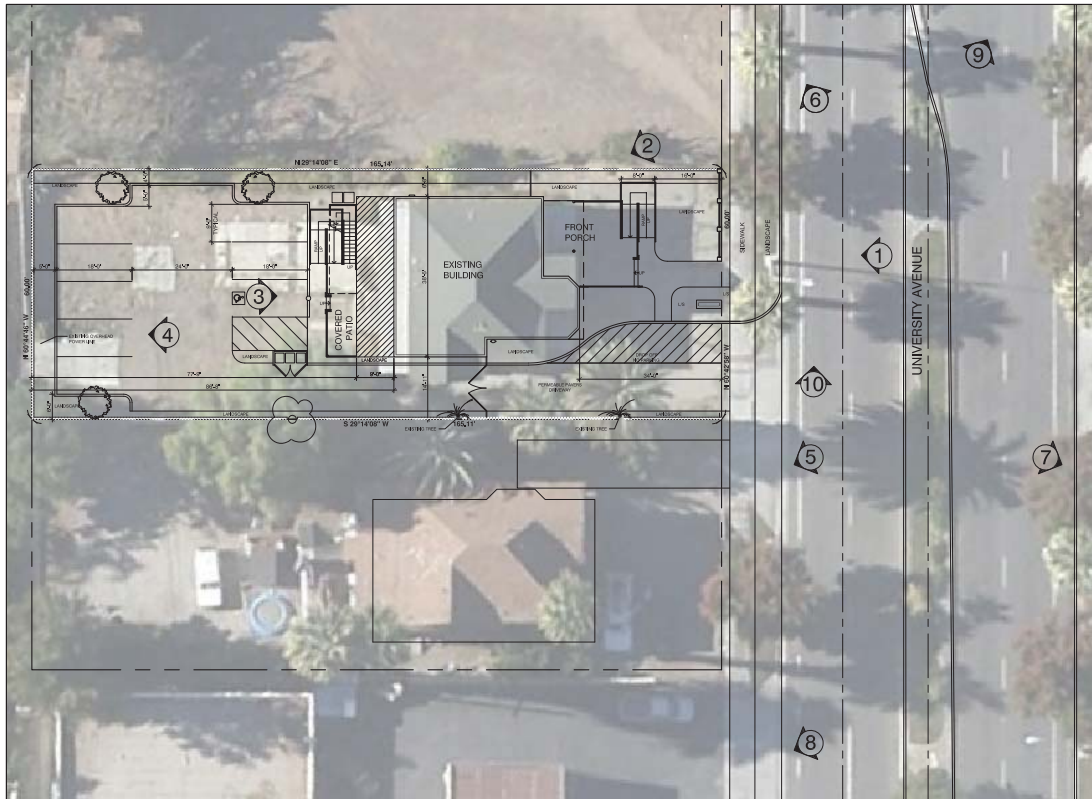
Sign Plan
University Bed & Breakfast
2586 University Avenue, Riverside, CA
September 03, 2013

Monument Sign Location:

As shown in the Site Plan by LA Design Group dated September 3, 2013:



P13-0651, Exhibit 4
Sign Program



1



2



3



4



5



6



7



8

A SITE PLAN
SCALE: NTS



VICINITY MAP
N.T.S.



9



10

BED & BREAKFAST
2586 UNIVERSITY AVE. RIVERSIDE, CA

MXM INC.
2666 E. HUNTINGTON DRIVE
DUARTE, CALIFORNIA

P13-0561, Exhibit 5
Site Photos

DIMENSIONS AND CONFIGURATION SHOWN ARE CONCEPTUAL AND MAY NOT REFLECT ACTUAL CONDITIONS. ACTUAL CONDITIONS MUST BE VERIFIED ON THE PREMISES. NO REPRESENTATIONS OR WARRANTIES ARE EXPRESSED OR IMPLIED BY THIS DRAWING. THIS PLAN IS FOR LEASING AND JURISDICTION COORDINATION ONLY AND IS SUBJECT TO CHANGE.

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LADG JOB #:	130411.01
DATE	09/05/2013
REVISIONS	11/15/2013



Front Elevation



Front/Right Side Elevation

P13-0561, Exhibit 5
Site Photos



Front/Left Side
Elevation



Rear Elevation

P13-0561, Exhibit 5
Site Photos



Front Gable Detail



Foundation Detail

P13-0561, Exhibit 5
Site Photos



1992 photo

P13-0651, Exhibit 6
Historic Photo

PRIMARY RECORD

Other Listings
Review Code

Reviewer

Date

*Resource Name or #: (Assigned by Recorder) 2586 UNIVERSITY AV

P1. Other Identifier:

*P2. Location: Not for Publication Unrestricted *a. County Riverside

and (P2b and P2c or P2d. Attach a location map as necessary.)

*b. USGS 7.5' Quad _____ Date _____ T _____ ; R _____ ; 1/4 of _____ 1/4 of Sec _____ ; B.M. _____

c. Address 2586 UNIVERSITY AV City Riverside Zip _____

d. UTM: (Give more than one for large and/or linear resources) Zone _____ ; _____ mE/ _____ mN

e. Other Locational Data: APN: 211133004

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

This circa 1901 Classic Box two story wood frame single family home is rectangular in plan. It is sheathed in narrow wood clapboard siding. The slightly bellcast hipped roof is sheathed in composition shingles. A cross gable projection on the second story shelters an open balcony on the front elevation with two Doric columns. The left portion of the original full width front porch was enclosed as a bay and stuccoed in 1946 to serve as a barbershop. The remaining open portion of the porch has been altered (date unknown) with the addition of a second door and two windows to create an office. The front porch has a small gable over the front door and has two slender Doric columns supporting it. The second story gable ends each have an arched louvered vent. Windows are currently boarded up, but as described in the DPR form for the property, were double hung wood sashes. The wood sashes in the enclosed front bay were not original to the home. Original windows were one-over-one double-hung wood sashes, framed by wide flat trim, although several of the windows on the sides and rear had been changed to aluminum; wall patching also indicates some of those window openings had been changed in size. The broad front steps are concrete and currently have no stoop or handrail. The roof is of composition rolled sheeting material. The eaves are enclosed. Narrow clapboard siding covers the house, except for the stucco finish on the enclosed portion of the front porch. The color of cornices, columns, doors and window trims have been painted to contrast with the body of the house. Parking was provided in the past by paving the front yard with asphalt.

*P3b. Resource Attributes: (List Attributes and codes) HP02 Single Family Property

*P4. Resources Present: Building Structure Object Site District Element of District Other (isolates, etc.)

P5b. Description of Photo:
(View, date, accession #)



*P6. Date Constructed: c. 1901

Age and Sources: Historic
 Prehistoric Both

*P7. Owner and Address:

Riverside CA

*P8. Recorded by: Krystal Marquez
Krystal Marquez & Erin Gettis
City of Riverside Community Development
3900 Main St.
Riverside, CA 92522

*P9. Date Recorded: 7/18/2012

*P10. Survey Type: (Describe)
Intensive/Section 106 Compliance

*P11. Report Citation: (Cite survey report and other sources, or enter "none.")

University Avenue Specific Plan Cultural Resources Survey

*Attachments: NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record
 Archaeological Record District Record Linear Reature Record Milling Station Record Rock Art Record
 Artifact Record Photograph Record Other (List) _____

B1. Historic Name

B2. Common Name

B3. Original Use: Residential

B4. Present Use: Vacant

*B5. Architectural Style: Classic Box

*B6. Construction History: (construction date, alterations, and date of alterations) Construction Date: c. 1901

Original Permit	No original permit on file.
1946 Alteration	#3924, glass in portion of front porch for barber shop
1997 Alteration	#97-1456, remove plumbing, reduce 3 to 1 gas meter

*B7. Moved? Date Moved: Original Location:

*B8. Related Features:

*B9a. Architect: unknown

b. Builder: Clendenen, J. A.

*B10. Significance: Theme: Residential, Eastside Comm Area Eastside

Period of Significance

Property Type Residential

Applicable Criteria:

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

See Continuation Sheet

B11. Additional Resource Attributes: (List attributes and codes)

*B12. References:

City of Riverside Building Permits.

City of Riverside: Modernism Context Statement-Part 1

City of Riverside, Planning Department Address Files.

City of Riverside City Directories

Digital Sanborn Maps.

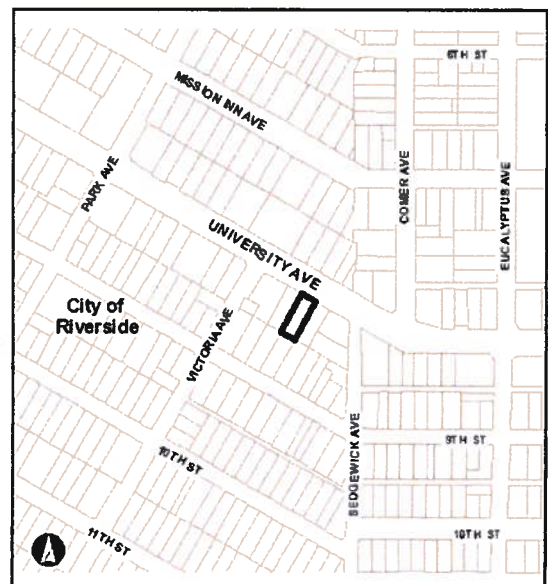
B13. Remarks:

*B14. Evaluator: Krystal Marquez & Erin Gettis

City of Riverside Community Development Department
3900 Main St.
Riverside, CA 92522

*Date of Evaluation 7/18/2012

(This space reserved for official comments.)



*Recorded By: Krystal Marquez

*Date 7/18/2012

Continuation Update

B10. Significance (continued):

According to Riverside Daily Press articles, the house at 2586 University Avenue (originally Eighth Street) was built circa 1901 by contractor J. A. Clendenen for J. H. Jones. It was sold upon completion to W. D. Ennor. Ennor was president of the Riverside Prohibition Alliance No. #14 (04-01-1902 RDP) and held meetings of the Alliance in his home between 1902 and 1909. By 1928 the home was owned by Sigurd Christian Oien and his wife, Clarissa Oien (nee Barney), who had married in 1909 and occupied the home until at least 1943. It was in 1946 when the new owner, William Schenk, completed the addition at the left front of the home to make a small barber shop for himself which he owned until about 1956. A 1962 permit shows a sign permit for "Woods Realty" and the property was then occupied by Marie Wood, a local realtor, until at least 1966. At some time before 1997, the single family home had been converted without permits into three dwelling units. The building was restored to a single family use with permits in 1997.

This property is located within White's Addition, an early subdivision east of the original Southern California Colony Association lands. The subdivision was approved by the Board of Trustees of Riverside by Ordinance #157 on September, 6, 1892. The construction date is estimated as 1901 because the home does not appear on the 1895 Sanborn map but does appear on the 1908 Sanborn and Ennor was holding meetings there as early as 1902. The property is designated Structure of Merit #155, and was designated based on its historic significance and not its architectural integrity. It is located adjacent to Structure of Merit #156 at 2562 University Avenue, which was built at about the same time and exhibits a style and features that are similar to the subject property. The building at 2562 University is on a separate lot and is not a part of this project. The subject property is not located within a historic district, but it is within the overlapping survey areas for the Eastside and the University Specific Plan. It abuts the Ninth Street Potential Neighborhood Conservation Area to the south. The house is significant as one of the last and most substantial examples of residential architecture of the early White's Addition that predated the commercialization of the University Avenue corridor beginning in the mid-1900s.