



City of Arts & Innovation

COMMUNITY DEVELOPMENT DEPARTMENT Planning Division

Cultural Heritage Board Certificate of Appropriateness Staff Report

AGENDA ITEM NO.: 3

WARD: 1

CULTURAL HERITAGE BOARD HEARING DATE: April 17, 2013

I. CASE NUMBER(S): P13-0084

II. PROJECT SUMMARY:

- 1) Proposal:** Proposed rehabilitation of the Riverside Main Library to add an exterior entry lobby projection, install windows behind existing exterior concrete screens and related minor improvements, located just south of the Mission Inn in the Downtown Specific Plan Raincross District. The Library is within the Mission Inn Historic District and Seventh Street Historic District, and has been determined eligible for the California Register of Historical Resources and as a City Landmark.
- 2) Location:** 3581 Mission Inn Avenue
- 3) Applicant:** Tonya Kennon, Library Director
City of Riverside Library Department
3581 Mission Inn Avenue
Riverside, CA 92502
951-826-5213
- 4) Case Planner:** Teri Delcamp, Historic Preservation Senior Planner
(951) 826-2117
tdelcamp@riversideca.gov

III. RECOMMENDATION:

That the Cultural Heritage Board:

1. **DETERMINE** that Planning Case P13-0084 will not have a significant effect on the environment based on the findings set forth in the case record, and adopt a Mitigated Negative Declaration (MND) and the mitigation monitoring or reporting program pursuant to CEQA Section 21081.6; and
2. **APPROVE** Planning Case P13-0084 based on the findings outlined in the staff report and summarized below, and subject to the attached conditions, thereby issuing a Certificate of Appropriateness for the project:

FACTS FOR FINDINGS: (From Section 20.25.050 of the Riverside Municipal Code)

The Board and Historic Preservation Officer shall make findings of the following standards when applicable to approving or denying a Certificate of Appropriateness.

FINDINGS: The application proposal is consistent or compatible with the architectural period and the character-defining elements of the historic building.

FACTS: As conditioned, the project complies with this finding. The entry lobby exterior addition is designed to be reversible. Conditions eliminate the proposed deck and railing above it because they represent more than a “minimal change” to distinctive materials and features. The lobby addition will have a flat ceiling/soffit designed to be visually subordinate to the existing curved plate canopy that is a character-defining feature of the Library. It is also conditioned to be as transparent as possible to allow continued views from the plaza to the canopy and to not interrupt the general view of the front façade as a whole. Additionally, it is conditioned to be notched in before the connection to the existing wall of the Library, as sketched by Page & Turnbull in the SOIS memo, to provide a clear differentiation between new and original construction. New windows behind the decorative concrete screens are conditioned to be held back from the edges of the screens so as to be unobtrusive. A potential main roof deck is conditioned to ensure the guardrail is set back an adequate distance from the roof edge so it is not visually intrusive. With the conditions as proposed, the project is compatible with the architectural period and character-defining features of the historic Library.

FINDINGS: The application proposal is compatible with existing adjacent or nearby Cultural Resources and their character-defining elements.

FACTS: As conditioned, the project complies with this finding. The Library is located within the Mission Inn and Seventh Street Historic Districts. The focus of the project is mainly on re-programming and remodelling interior spaces. Modifications to the exterior of the Library are minimal in terms of any aesthetic or visual impacts to the Historic Districts. The exterior lobby addition will be as transparent as possible to allow continued views to the Library façade that are similar to existing in terms of District character. No significant changes are proposed to the Plaza, other than replacement of the existing four trees in front of the Library and changing the non-historic ramp railings to a more compatible design. Overall, the project is compatible with the existing surrounding Historic District Cultural Resources and their character-defining elements.

FINDINGS: The colors, textures, materials, fenestration, decorative features and details, height, scale, massing and methods of construction proposed are consistent with the period and/or compatible with adjacent Cultural Resources.

FACTS: As conditioned, the project complies with this finding. The only materials that will be visible are the glazing and roof of the exterior lobby addition and the replacement railings. New windows will be hidden behind the existing decorative concrete screens, and equipment and features on the main roof will not be visually obtrusive based on pedestrian sight lines. The Library is representative of the New Formalism architectural style, so the modern materials of glass and metal, etc., in simple forms and designs that will be used for these features will be compatible with the period of the Library. Thus, they will not represent a significant change to the site or to the existing context of the site within the Historic Districts.

FINDINGS: The proposed change does not adversely affect the context considering the following factors: grading; site development; orientation of buildings; off-street parking; landscaping; signs; street furniture; public areas; relationship of the project to its surroundings.

FACTS: As conditioned, the project complies with this finding. As noted in the above findings, the project is minor in scope considering these factors. No grading or site development will occur. The Library is an existing building and the small exterior lobby addition will not have any real effect on the existing orientation of the building. It will be as transparent as possible so as to basically maintain the Library's existing relationship to its surroundings. No changes to parking or the public areas outside the Library are proposed, with the exception of four original trees that will be removed. However, these trees will be replaced with the same or similar species to avoid future damage to the raised Plaza concrete. To the extent possible, the existing character-defining features of the public Library will be retained so as not to adversely affect the historic resource itself or the existing overall context.

FINDINGS: The proposed change does not adversely affect an important architectural, historical, cultural or archaeological feature or features.

FACTS: As conditioned, the project complies with this finding. Based on the findings above and the proposed conditions of approval the project will not adversely affect an important architectural and historical site and features. The project will not have any effect on archaeological and cultural features.

FINDINGS: The project is consistent with the Citywide Residential Historic District Design Guidelines and the separate guidelines for each Historic District.

FACTS: As conditioned, the project complies with this finding. The project is subject to the general principles of the Citywide Historic District Design Guidelines, but more pertinently, to the Downtown Specific Plan Design Guidelines. The Guidelines and parameters of Title 20 address building exteriors. Specifically, Chapter 15.7, Design Guidelines for Rehabilitation of Historic Commercial Buildings, is applicable to the project:

- Original building materials and architectural features should be preserved, repaired in place or replaced like-for-like if deteriorated beyond repair. No inappropriate painting or cladding of original wall materials should occur. The project retains the brick veneer facades of the Library with only a relatively small and transparent addition. All of the character-defining features and materials are being preserved.
- While the Guidelines call for additions to be located in the rear whenever possible, away from the main architectural façade, the Library is visible on all four sides. The solution to create a relatively small, transparent addition at the main entry achieves a goal of avoiding a potentially larger addition in another location and maintains the original entry location. The project also avoids the destruction of significant historic material in the original structure which might otherwise occur with a standard building addition. Because the addition will be as transparent as possible it will not radically change the appearance of the Library to passersby, which is another stated intent of the Guidelines. It is also compatible in size and scale to the Library, and

subordinate in massing. Lastly, it will be differentiated from the original structure through a detail that will notch the addition back before it connects to the Library façade.

- The arrangement, size and proportions of openings on a front façade should be maintained. The lobby addition will be at the existing main entry to the Library. New windows will be hidden behind the existing decorative concrete screens. Conditions require elimination of a proposed deck above the lobby with new door openings,
- Character-defining roof forms should be preserved and maintained. The curved plate canopy roof at the entrance will be preserved, and no changes are proposed to the Library’s main roof character with its deep overhang. Any rooftop changes such as deck guardrail and increased elevator tower height will not change the roof’s character and will be minimally if at all visible.
- While the Guidelines call for preservation of mature trees whenever possible, the existing four trees are causing damage to the concrete patio in front of the Library and are so large they are obscuring views to the Library. To mitigate the loss of these trees, four same or similar species of trees will be planted in the existing locations.

FINDINGS: The project is consistent with the Principles of the Secretary of the Interior’s Standards for the Treatment of Historic Properties.

FACTS: As conditioned, the project complies with this finding. A formal review of consistency with the Secretary of the Interior’s Standards indicates the following:

- Although located on the main façade, the lobby addition will meet the Secretary of the Interior’s Standards (SOIS) through conditions required by the MND. The conditions ensure that the addition will: allow the character-defining sculptural concrete entry canopy to remain highly visible from the Plaza due to its transparency and natural illumination; be differentiated and reversible; and be visually subordinate to the façade through elimination of the proposed roof deck. (The addition of doors and a thicker roof profile for the lobby addition due to the roof deck and railing would alter the building’s principal character-defining feature at the entry, would constitute more than a “minimal change” to the distinctive materials, features and spatial relationships of the building contrary to the SOIS, and so have been eliminated through the conditions of approval.)
- The proposed addition of windows behind the decorative concrete screens will meet the SOIS through conditions that ensure that the window opening edges are held back from the edges of the screens so that the size, configuration, and design of the windows do not adversely impact the appearance and design of the screens.
- The railing guardrail of the proposed main roof deck will minimize visual impacts to the Library’s massing through conditions that require it to be set back so as to be visually unobtrusive to pedestrian sight lines. The increased elevator tower height will similarly create a minimal visual alteration to the Library’s massing or will be set back so as to be less visually intrusive.
- The four trees that are part of the original design context are being removed due to damage and overgrowth, but will be replaced with the same or a species of similar form.

IV. BACKGROUND/HISTORY:

The Riverside Main Library was surveyed with the Modernism Context Statement approved by the City Council in 2010. It is typical of New Formalism architecture, and is square in plan and topped by a flat roof overhang that acts like a cornice. Each facade has flat, concrete piers attached to the smooth brick wall that separate it into bays. The front (southwest) facade is marked by a repeated curved plate canopy over the entrance. Each curve in the canopy features a cluster of three hanging globe lamps. In front of the walls on each façade are large concrete screens of organic diamond patterning. Two are located on each side of the front entrance. The Orange and Lemon Street facades have one screen at the south end, a longer central bay, and a second screen at the third bay before a shorter fourth bay. The 6th Street facade has a few small windows. On the southwest of the building's Mission Inn Avenue facade is a ramp with an original concrete wall with original sign "Riverside Public Library." The building is accessed from Mission Inn Avenue from the original wide flight of steps and new splayed concrete paths between grass. The wrought iron railing in front of the building was added in the 1980s, but its design mirrors the pattern of the screens. Four original trees are set in front of each of the screens on the front façade, and additional trees were installed around the new semi-circular entrance landscaping. Originally, there were fountains in the current plaza area, and later in the 1980s, a rose garden. The parcel also features the Chinese Pavilion at the southwest corner. Surface parking surrounds the other three sides of the building. The church and parsonage at the southeast corner are on a separate parcel.

The Main Library is significant in the context of modern architecture in Riverside as a good and rare example of New Formalism. As such, it is eligible to be designated as a City of Riverside Landmark and is eligible for listing in the California Register of Historical Resources. The architects were the local firm of Moise and Harbach and Pasadena architect Gene Fickers. The design is attributed to Bolton C. Moise, Jr. This appears to be one of the best examples of his work in Riverside. The Library's most distinctive features are the symmetrical façade rhythm, wide overhanging flat roof, sculptural concrete screens, piers and curved plate canopy, although this was more recently assessed by a third party as discussed in the next section.

In a February 2012 public workshop, the City Council determined that the Library project should propose rehabilitation of the existing library rather than a new replacement structure. A community outreach plan was implemented and schematic design options were developed and presented at numerous Library Board of Trustee, community and stakeholder meetings over the following four months. Then in June through August 2012, meetings were held with Trustees and stakeholders to select the preferred design. In September 2012, staff presented an update to the City Council with the preferred Option 5 design recommendation, financing information and a recommendation to rename the Downtown Library as the Main Library. The City Council directed staff to move forward with Option 5b as the preferred alternative. The Certificate of Appropriateness and the MND represent the culmination of this portion of the process which has been a collaborative effort between the Library, General Services and Community Development Departments and the City Manager's office.

V. DETAILED PROJECT DESCRIPTION:

The Riverside Main Library project consists of an exterior rehabilitation and interior remodel to accommodate interior library space and programming goals. At this time, the project consists of conceptual elevations and sections to show the exterior. The preferred Option 5b is included as Exhibit 3. The existing interior space would be re-programmed which will involve removal of interior fixtures and features and reorganization of interior spaces including the possible relocation of the main stairs and elevator. An auditorium is intended to be created near the rear of the ground floor and a staff work space to the left of the interior lobby area. For the most part, the work will occur within the existing building envelope. The existing exterior would remain as is except for a lobby pop-out; potential windows punched through behind the decorative concrete screens; and possible relocation and projection of the elevator tower through the roof beyond the height of the existing screen to provide access to a functional roof top plaza. Any options on the roof would require ADA access, handrails, etc. to be functional and safe for the public and patrons.

Within the library grounds, the exterior hardscape would remain much as existing except for patching, repairing or replacing hardscape where needed and to ensure ADA requirements are met. The existing non-historic exterior handrail at the entry ramp and plinth perimeter would be replaced with a more architecturally compatible railing. The existing four trees adjacent to the front of the building would be removed and replaced with same or similar but smaller species, but no other work is included for the plaza area.

Exterior changes are intended to achieve these goals while preserving historic fabric, massing and character-defining features. Option 5b is further described as including the following elements:

- Inserting glazing behind the existing decorative concrete screen panels to introduce more natural light to the interior of the library.
- Existing handrails around the plinth to be removed and replaced.
- An elevator tower possibly extending 17'-2" above the existing roof, approximately six feet above the top of the existing equipment screen. A guardrail would be added to create a functional roof top plaza that would be approximately 2,000 SF in area.
- Preservation of the existing entry canopy roof within the exterior lobby pop-out addition.
- As proposed on the attached plans, the lobby addition would have a roof substantial enough to create a canopy roof deck of approximately 1,200 square feet accessed from the interior of the Library. The brick veneered wall above the canopy would remain but as proposed would have had two pairs of doors cut in to access the deck. A 2'-10" high railing around the canopy roof deck is shown, but would have needed to be higher to meet Building Code requirements. However, as indicated in the attached MND, this feature and the doors are being eliminated;
- The new lobby canopy would be 39'-4" wide and 24'-4" deep, with a smooth soffit so as not to compete with the existing canopy form.
- The front entry lobby would be 32'-4" wide and 15'-0" deep, consisting of two flanking pairs of glazed doors with glazed walls at the front and sides.
- Removal and replacement of four trees in front of the Library that are damaging concrete with same or similar species.

VI. LOCATION/SURROUNDING LAND USES:

	Existing Land Use	General Plan Designation	Zoning Designation
Project Site	Public Facility (Library)	Downtown Specific Plan (DSP)	Downtown Specific Plan Raincross District, Cultural Resources Overlay (DSP-RC-CR)
North	Office (AT&T)	DSP	DSP-RC
East	Public Facility (Municipal Auditorium)	DSP	DSP-RC-CR
South	Public Facility & Commercial (Museum & Church)	DSP	DSP-RC-CR
West	Commercial (Hotel)	DSP	DSP-RC-CR

VII. PROJECT ANALYSIS:

- **Compliance with section 20.25.050 of the City of Riverside Municipal Code:**

The City requested preservation firm Page & Turnbull to prepare an analysis of the project’s consistency with the Secretary of the Interior’s Standards for the Treatment of Historic Properties with Guidelines for Rehabilitation (SOIS) for the exterior alterations to the Library. The analysis is included in Exhibit 4. The analysis of the conceptual plans concludes that the Option 5b project would be consistent with the SOIS with some changes to the project which have been conditioned. The other options are not consistent with the Standards and Guidelines. The Option 5b changes are specifically called out as mitigation measures in the MND (see Exhibit 5). The most significant of these is that there will not be a deck with access doors above the exterior lobby pop-out and the pop-out will be as transparent as possible. Cultural Heritage Board staff will continue to be involved as the detailed plans are developed to ensure that the implementation of the project remains consistent with the Standards and Guidelines. As indicated in the findings at the beginning of this report, the project complies with Title 20.

- **General Plan/Specific Plan Conformance:**

General Plan: The proposed project is consistent with the existing General Plan land use designation for the project site because it is a minimal square footage increase to the existing Library.

Specific Plan: The proposed project is consistent with the Downtown Specific Plan Raincross District because it is a minimal square footage increase to the existing Library and will not have an adverse effect on a potential historic resource. Libraries are a permitted use in the Raincross District.

PUBLIC NOTICE AND COMMENTS:

Public notices were published in the newspaper and mailed to property owners within 300 feet of the site. To date staff has not received any written comments to date. Staff met with representatives of the Old Riverside Foundation and the Riverside Historical Society on April 11, 2013. Staff will forward their comments to the CHB at the meeting.

VIII. EXHIBITS:

1. Location Map
2. Aerial Photo
3. Preferred Option 5b (as proposed, but subject to conditions of approval)
4. Page & Turnbull's Secretary of the Interior's Standards Consistency Review Memo
5. Draft Mitigated Negative Declaration

RECOMMENDED CONDITIONS & GENERAL INFORMATION NOTES

Case Number: P13-0084

Meeting Date: April 17, 2013

CONDITIONS *All mitigation measures are noted by an asterisk (*).*

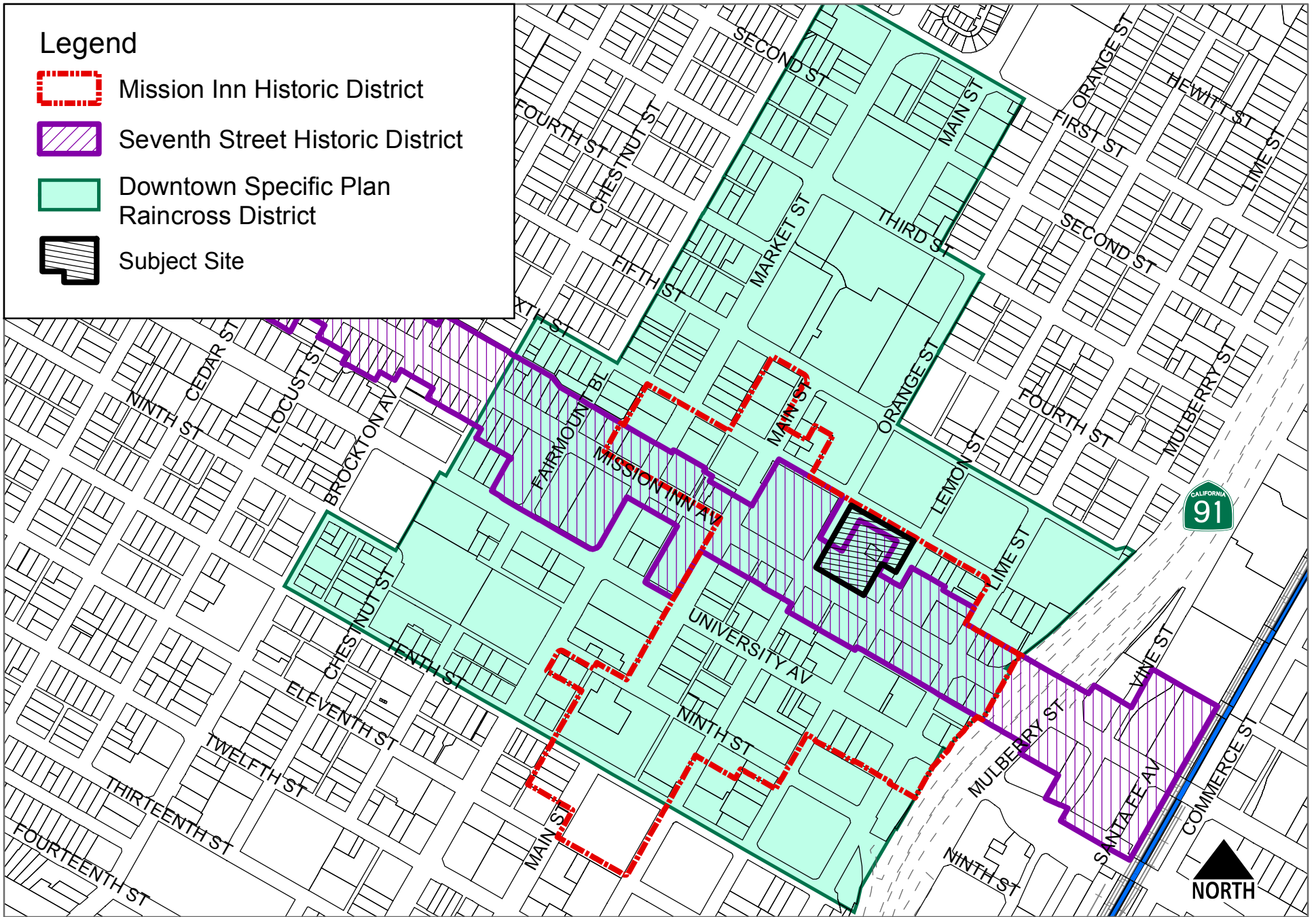
Case Specific

1. *Prior to the issuance of building permits, the applicant shall submit for review and obtain the approval of CHB staff for detailed architectural drawings that are consistent with the Secretary of the Interior's Standards and show the following:
 - a) Elimination of the solid deck, railing and doors above the exterior lobby entry projection.
 - b) Details of the wall-to-wall connection of the exterior lobby entry projection to the existing face of the building, showing a notch in as sketched in the Page & Turnbull SOIS memo to clearly differentiate the new construction.
 - c) Design of the lobby entry projection to appear as light, transparent and seamless as possible along the front and sides, and ceiling/roof with, if feasible, incorporation of skylights, laylights or structural glass that will allow for natural illumination.
 - d) Details of the windows to be installed behind the existing decorative concrete screen panels. Window edges are to be set back from the edges of the screens so as to be minimally visible.
 - e) Details of the replacement exterior handrail to be simple and modern for maximum compatibility with the New Formalism style of the Library.
 - f) View simulation and details showing that the main roof-top deck railing is adequately set back from the edges of the existing roof; is the minimum guard rail height required by the Uniform Building Code; is of a simple and modern design compatible with the Library; and is not visible from street view sight lines.
 - g) That any skylights on the main roof are flush with the roof or low profile, and located, so as not to be visible from street view sight lines.
 - h) Preservation of the existing canopy roof continuing to the interior, with preservation of the clustered globe lights.
 - i) Replacement of the original four trees directly in front of the Library with the same or similar but smaller species that will have a similar form but not cause root damage or obscure views of the Library.
 - j) That to the extent feasible, the applicant has worked with CHB staff regarding the retention of key spatial relationships, features and/or materials that help convey the character of the Main Library, to balance operational and preservation goals.

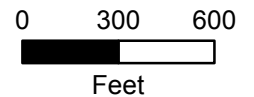
Standard Conditions

1. The project must be complete per the Cultural Heritage Board's approval, including all conditions listed below. Any subsequent changes to the project must be approved by the Cultural Heritage Board or the Cultural Heritage Board staff. Upon completion of the project, a Cultural Heritage Board staff inspection must be requested to ensure that the approved plans have been executed and that all conditions have been implemented before **FINAL INSPECTION** hold can be released.
2. There is a ten day appeal period that will lapse at 5:00 p.m. on April 29, 2013. Appeals of the Board's action will not be accepted after this time. The appeal fee is \$1,531.20. Appeal processing information may be obtained from the Community Development Department, Planning Division, Public Information Section, 3rd Floor, City Hall. Appeals will be considered by the Land Use Committee of the City Council at their next available meeting.
3. This approval will expire in one year on April 17, 2014.

G:\CHB\04-17-13\P13-0084 rtd.docx
Teri Delcamp

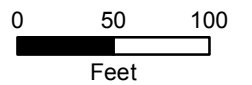


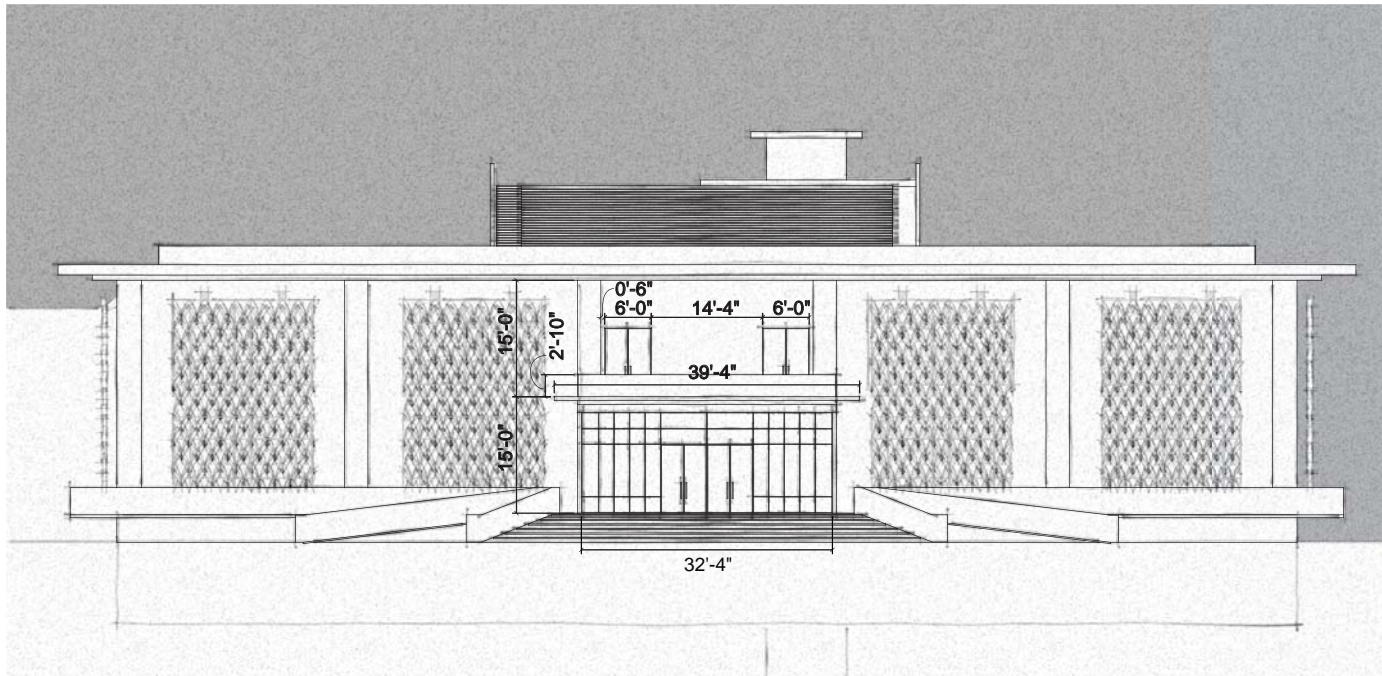
P13-0084, Exhibit 1 - Location Map



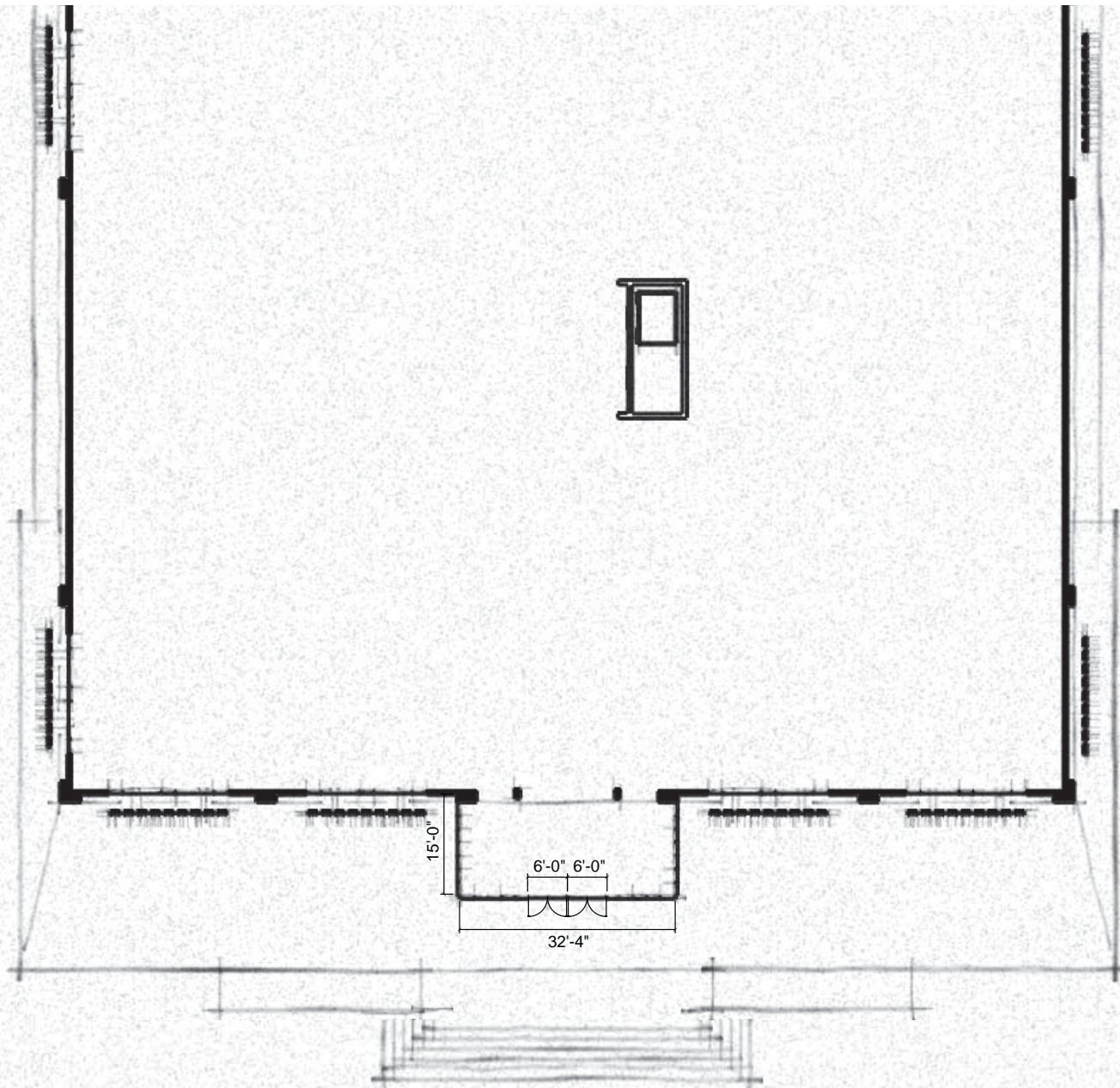


P13-0084, Exhibit 2 - 2012 Aerial Photo



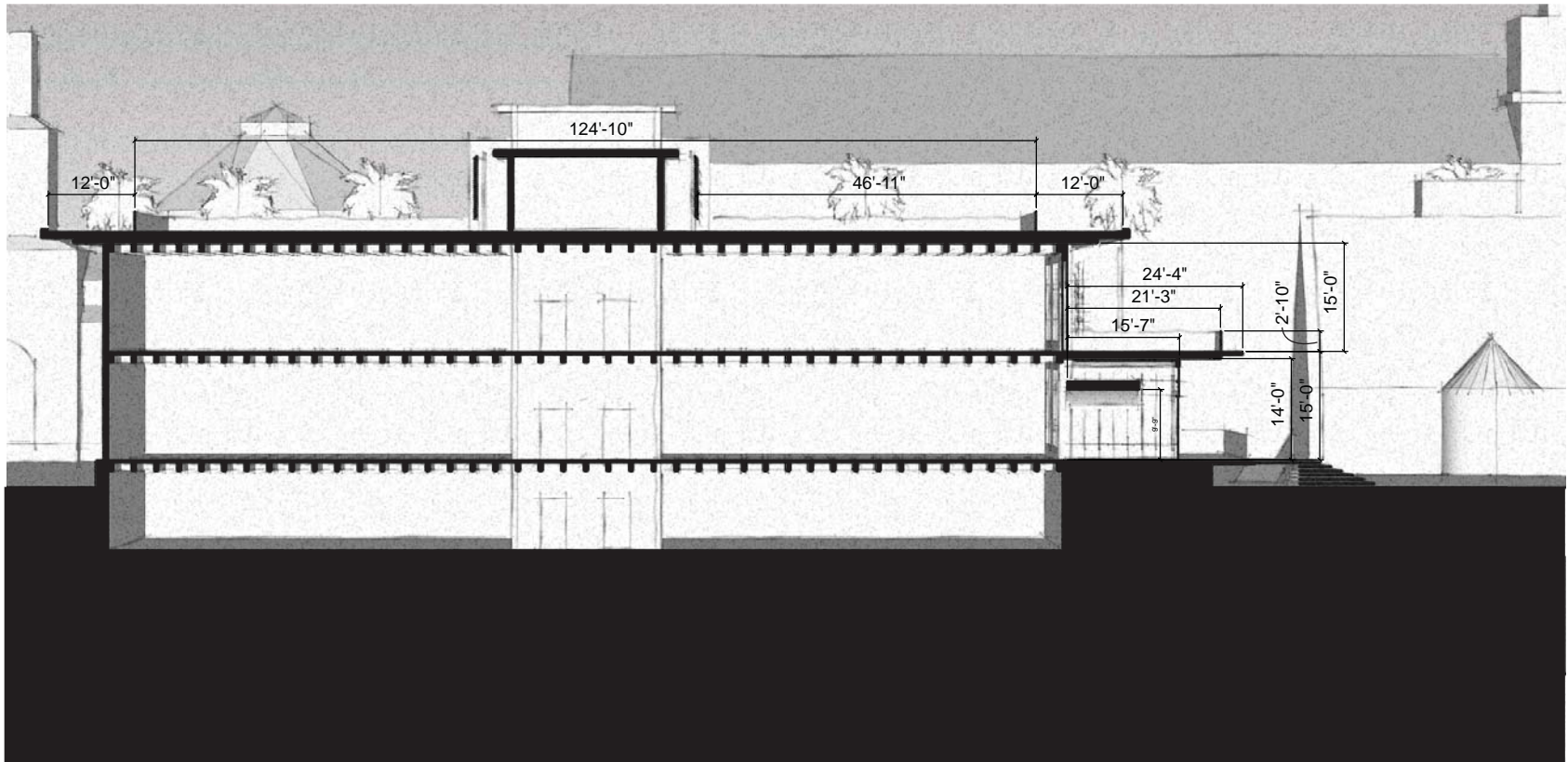


OPTION 5b ELEVATION
SCALE 1/16" = 1'-0"



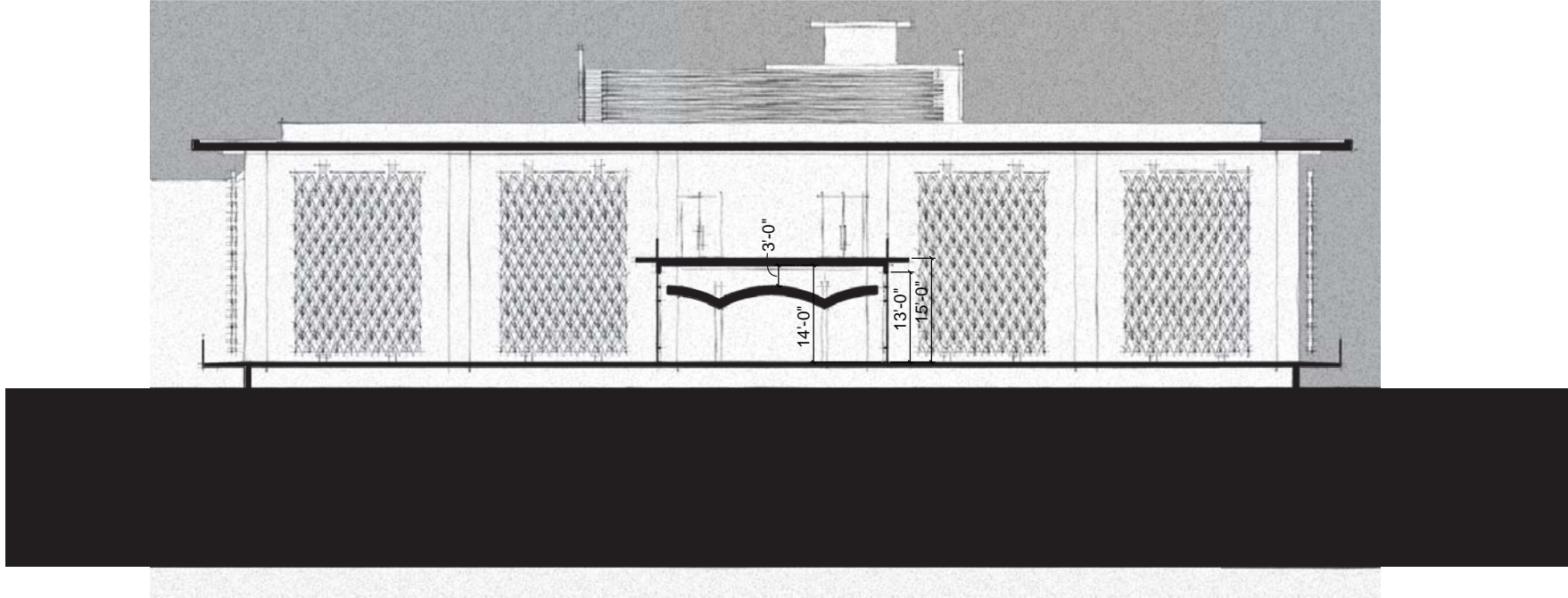
OPTION 5b PLAN
SCALE 1/16" = 1'-0"

P13-0084, Exhibit 3 - Preferred Option 5b



OPTION 5b SECTION
SCALE 1/16" = 1'-0"

P13-0084, Exhibit 3 - Preferred Option 5b



OPTION 5b SECTION ENTRY
SCALE 1/16" = 1'-0"

MEMORANDUM

DATE *revised* April 10, 2013
TO Teri Delcamp
OF Community Development Dept.,
Planning Division, City of Riverside
3900 Main Street, 3rd Fl.
Riverside, CA 92522
CC Erin Gettis, City of Riverside; Meg
Glynn, Page & Turnbull; File

PROJECT NO. 10115B
PROJECT Riverside Main Library
SOIS Review
FROM Debi Howell-Ardila, MHP
John Lesak, AIA
VIA Email

REGARDING: RIVERSIDE LIBRARY SECRETARY OF THE INTERIOR'S
REHABILITATION STANDARDS REVIEW

Introduction

This *revised* memo transmits the results of Page & Turnbull's review of proposed exterior alterations to the Riverside Main Library for conformance with the *Secretary of the Interior's Standards for the Treatment of Historic Properties, Standards for Rehabilitation (Secretary's Standards)*. Review of the building's interior was not included in the scope of work. The drawings provided to Page & Turnbull on February 15, 2013 are preliminary in nature, consisting of sketches of floor plans, elevations, and sections. These drawings were supplemented with a written project narrative, provided on February 26, 2013.

Based on these drawings, Page & Turnbull concludes that, with certain project modifications and conditions, Proposed Project Option 5B could potentially meet the *Secretary's Standards*. However, because the information provided is still conceptual in nature, it cannot be determined with certainty whether the project will conform with the *Secretary's Standards*. In addition to the review, this memo provides general guidance for the treatment of character-defining features and significant spaces that are slated for alteration or removal in the project, in order to aid decision-making as the design progresses.

Background

In support of the 2009 Modernism Context Statement for the City of Riverside, the Riverside Main Library was assigned a California Historic Resource Status code of 3CS/5S3, which indicates that the building appears eligible for the California Register and local designation. The building was found eligible under Criterion 3 as a “good and rare example of New Formalism” in Riverside.¹

According to the California Environmental Quality Act Public Resource Code 5024.1(g), a resource identified as significant in an historical resource survey may be listed in the California Register if the survey meets all of the following criteria:

- (1) The survey has been or will be included in the State Historic Resources Inventory.
- (2) The survey and the survey documentation were prepared in accordance with office procedures and requirements.
- (3) The resource is evaluated and determined by the Office of Historic Preservation to have a significance rating of Category 1 to 5 on DPR Form 523.
- (4) If the survey is five or more years old at the time of its nomination for inclusion in the California Registry, the survey is updated to identify historical resources that have become eligible or ineligible due to changed circumstances or further documentation and those which have been demolished or altered in a manner that substantially diminishes the significance of the resource.¹

As a resource identified in a qualified survey, the Riverside Main Library is a historic resource under CEQA. In accordance with CEQA and Title 20 of the City of Riverside Municipal Code, significant adverse impacts can be avoided through project conformance with the *Secretary’s Standards*. The *Secretary’s Standards* are used widely in the United States to review projects that may affect historic properties. The standard for the Riverside Main Library will be rehabilitation. The *Standards for Rehabilitation* are codified in the Code of Federal Regulations, 36 CFR Part 61 for use in the federal investment tax credit (certified rehabilitation) program and in CEQA Section 15064.5 (b)(3). Rehabilitation is deemed the appropriate treatment “when repair and replacement of deteriorated features are necessary; when alterations or additions to the property are planned for a new or continued use; and when its depiction at a particular period of time is not appropriate, rehabilitation may be considered as a treatment.”

¹ Grimes, Teresa and Christina Chiang, 20 April 2009, “Riverside Public Library, Department of Parks and Recreation Forms, Primary and Building, Structure, and Object Records.

In addition, Title 20 of the City of Riverside Municipal Code describes the “principles and standards” guiding decision-making in design review. Mandatory findings for design review most closely related to the proposed project at the Riverside Main Library include Section 20.25.050.A (“The application proposal is consistent or compatible with the architectural period and the character-defining elements of the historic building”) and Section 20.25.050.D (“The proposed change does not destroy or adversely affect an important architectural, historical, cultural or archaeological feature or features”).²

The distinctive elements and physical features that convey the significance of a historic building are referred to as “character-defining features.” Character-defining features must be identified and retained in order to ensure that a historic resource continues to convey its significance. Toward this end, Page & Turnbull evaluated the potential impact of the proposed project on the following exterior character-defining features of the Riverside Main Library:

- Symmetrical design composition
- Emphasis on the horizontal axis through massing and details (such as the running-bond patterning of exterior brick veneer)
- Elevating the entire building upon a raised plinth
- Pronounced projecting roof eave/cornice line
- The main entry sequence, including
 - Grand stairs / ramp
 - Sculptural concrete entrance canopy and grouped globe lights
 - Symmetrical entry, with metal-frame, single-pane glazing, doors, and transoms
- Smooth exterior walls surfaces with brick veneer
- Square, full-height concrete pilasters across façade and on side elevations
- Full-height, latticework concrete screens with diamond patterning on main façade and side elevations
- Rooftop equipment screen

² Riverside Municipal Code, Title 20, Cultural Resources. Available at: <http://riversideca.gov/municode/title20.asp>. Accessed 12 March 2013.

REVIEW OF PROPOSED PROJECT OPTIONS AND THE SECRETARY'S STANDARDS

Proposed Project Options 1 and 5:

Among other proposed changes, these options call for demolishing a primary character-defining feature of the building—namely, the design configuration and materials of the main building entry. The distinctive sculptural canopy would be removed, and smooth exterior wall surfaces above it would be altered for door openings. Additionally, a square “pop-out” bay would be added to the entrance. These Options do not comply with the following *Secretary's Standards*:

- # 1: A property will be used as it was historically or be given a new use that requires **minimal change** to its distinctive materials, **features, spaces, and spatial relationships**.³
- # 2: The historic character of a property will be retained and preserved. The **removal** of distinctive materials **or alteration of features, spaces, and spatial relationships** that characterize a property will be avoided.
- # 9: New additions, exterior alterations, or related new construction **will not destroy** historic materials, **features, and spatial relationships that characterize the property**. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
- #10: New additions and adjacent or related new construction will be undertaken in such a manner that, **if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired**.

Proposed Project Option 5a:

Among other proposed changes, this option calls for retaining the sculptural concrete canopy of the entrance but enclosing it beneath a broader, similarly scalloped soffit. This option does not comply with the following *Secretary's Standards*:

- # 1: A property will be used as it was historically or be given a new use that requires **minimal change to its distinctive materials, features, spaces, and spatial relationships**.

³ Bold emphasis throughout the Standards Review sections added by Page & Turnbull to call attention to specific areas where Options 1, 5, and 5a do not conform

#3: Each property will be recognized as a physical record of its time, place, and use. Changes that create a **false sense of historical development**, such as **adding conjectural features** or elements from other historic properties, will not be undertaken.

Proposed Project Option 5b:

This option proposes retaining the sculptural entrance canopy and enclosing it within a square entrance bay addition. The entrance bay addition would measure 32'4" feet across and 15' deep, with a canopy measuring 39'4" by 24'4". The bay addition would be designed to be reversible (in conformance with *Secretary's Standards* #10). Unlike Option 5a, Option 5b calls for a thin roof section with a flat ceiling/soffit designed to be visually subordinate to the existing curved plate canopy.

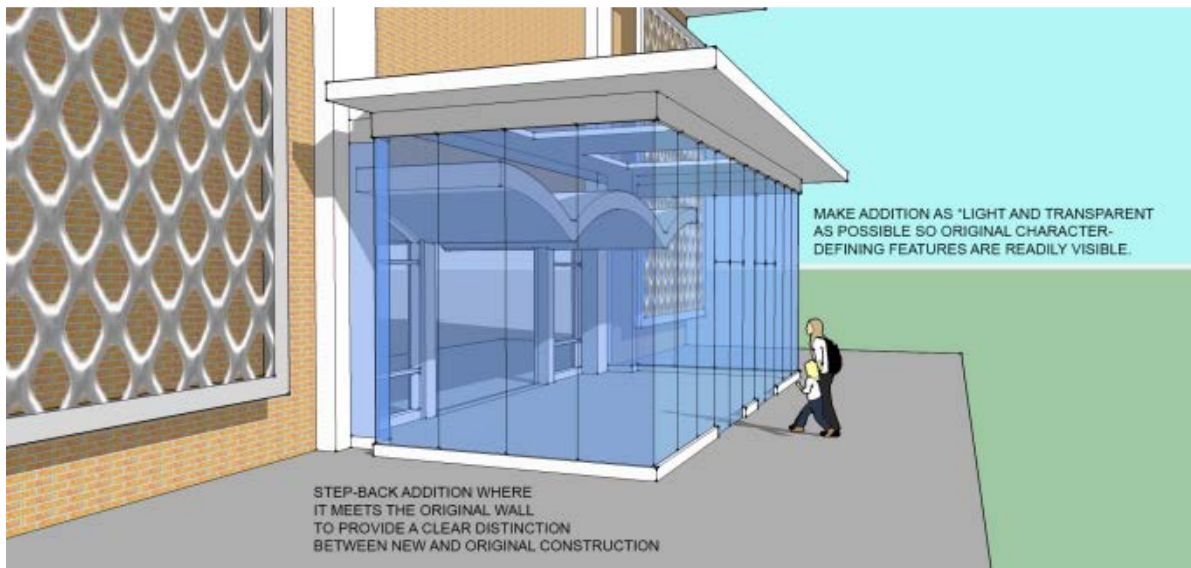
Additionally, the plan calls for altering the smooth wall expanse of the second-story of the façade by adding two doors above the addition, in order to provide access to a roof deck. This deck, highly visible from the exterior of the building, would be fronted by a railing high enough to conform to the applicable Building Code (typically 42-inches).

Option 5b could potentially meet the *Secretary's Standards* with the following conditions and modifications [refer to Appendix A for the design sketches with shading for emphasis]:

1. The **proposed exterior doors for from the second floor to the deck above the addition need to be eliminated from the project** in order to conform with the *Secretary's Standards* Nos. 1, 2, and 9 (see above). The addition of upper-façade doors would represent more than a "minimal change" to distinctive materials (smooth/planar brick wall surfaces) and features (the façade's overall design configuration). The addition of upper-façade doors and a thickened profile for the proposed entrance bay through the addition of a roof deck and railing will alter the building's principal character-defining feature, the distinctive entrance design and materials. These changes constitute **more than a "minimal change" to the distinctive features and spatial relationships of the building**.
2. Step-back the sidewalls and roof projection of the new entry addition at the connection to the original wall plane to provide a clear differentiation between new and original construction. [Refer to Sketch 1].

3. Traditionally, changes to the main entrances are viewed unfavorably through the lens of the *Secretary's Standards*. In order to conform, the character-defining sculptural concrete entry canopy and associated pendant globe lights must remain highly visible from the plaza. Therefore, the proposed entrance bay addition should be designed as light and transparent as possible. The roof line of the addition should be visually subordinate to the features of the entrance. The use of generous, relatively uninterrupted (frameless) expanses of glazing could decrease visual impacts to character-defining features and further differentiate the removable addition. [Refer to Sketch 1].

The design should not obscure the visibility of the sculptural entrance canopy. In addition, an effort should be made to provide skylights or laylights that will allow for natural illumination, thereby increasing visibility of the original entrance.



Sketch 1

4. The proposed addition of windows behind the full-height lattice-work screens could conform with the *Secretary's Standards* if their size, configuration, and design do not detract from the appearance and design of the screens. Window openings should be held back from the edges of the screens.

5. As indicated, the proposed railing on the main roof-deck addition should be set back. In order to minimize visual impacts to the building's character-defining massing and form, the railing height should be as low as possible (while still in conformance with building code requirements).
6. Proposed skylights on the roof would conform to the *Secretary's Standards* if they are not visible from the ground level.

ADDITIONAL GUIDELINES AND RECOMMENDATIONS

Secretary of the Interior also provides *Guidelines for Rehabilitating Historic Buildings* (the *Secretary's Guidelines*) to aid building owners and designers in applying the Secretary's Standards to specific elements of buildings. Additionally, the National Park Service provides Preservation Briefs to provide further detail on the appropriate treatment of historic buildings. Below, we provide specific text from both the Secretary's Guidelines and Preservation Briefs that is relevant to Option 5b. As further detail and refinements are added to the proposed project, following these recommended guidelines will help ensure project conformance with the *Secretary's Standards*.⁴

1. New Entry, Alterations and Additions for New Use

Recommended: **Designing and installing additional entrances or porches on secondary elevations** when required for the new use in a manner that preserves the historic character of the buildings, i.e., **limiting such alteration to non-character-defining elevations.**

2. New Windows

Recommended: **Designing and installing additional windows on rear or other-non character-defining elevations if required by the new use.** New window openings may also be cut into exposed party walls. Such design should be compatible with the overall design of the building, but not duplicate the fenestration pattern and detailing of a character-defining elevation.

⁴ Unless otherwise noted, these guidelines are drawn from: Weeks, Kay D., and Anne E. Grimmer, 1995, *The Secretary of the Interior's Standards for the Treatment of Historic Properties, Guidelines for Preserving, Rehabilitating, Restoring and Reconstructing Historic Buildings* (Washington, DC: National Park Service, U.S. Department of the Interior). Available at: http://www.nps.gov/hps/tps/standguide/rehab/rehab_approach.htm. Accessed 13 March 2013. Emphasis added by Page & Turnbull.

3. New Additions, Special Requirements:

Recommended: Placing functions and services required for the new use in non-character-defining interior spaces rather than constructing a new addition.

Constructing a new addition so that there is the **least possible loss of historic materials and so that character-defining features are not obscured, damaged, or destroyed.**

Placing a new addition on a non-character-defining elevation and limiting the size and scale in relationship to the historic building.

Designing a rooftop addition when required for the new use that is **set back from the wall plane** and as **inconspicuous as possible when viewed from the street.**

A new addition should not be highly visible from the public right-of-way; a rear or other secondary elevation is usually the best location for a new addition.⁵

⁵ Grimmer, Anne E., National Park Service, U.S. Department of the Interior, Technical Preservation Services, “Preservation Brief 14: New Exterior Additions to Historic Buildings: Preservation Concerns” (Washington, DC: U.S. Government Printing Office, 2010), p. 14.



Figure 1

Riverside Main Library, ca. 1965. Image courtesy of: Baker, Ronald J., *Serving through Partnership: A Centennial History of the Riverside City and County Public Library, 1888 – 1988*.



Figure 2
Riverside Main Library, primary façade. Source: Page & Turnbull, December 2011.



Figure 3

Riverside Main Library, entrance detail. Note sculptural concrete canopy and clusters of pendant lights with decorative globes. Source: Page & Turnbull, December 2011.



Figure 4
Riverside Main Library, detail, latticework screen. Also shows non-original handrail slated for removal.
Source: Page & Turnbull, December 2011.



Figure 5
Riverside Main Library, entrance ramp and handrail slated for replacement. Source: Page & Turnbull, December 2011.

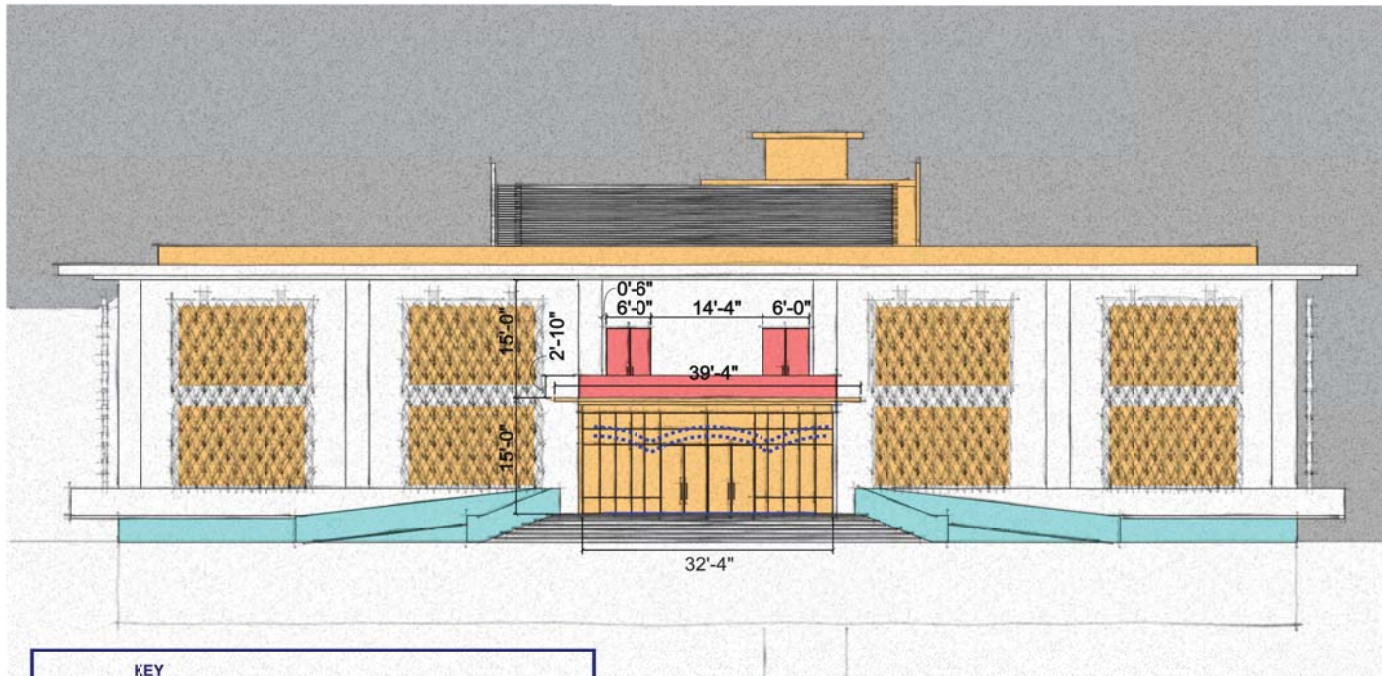


Figure 6
Riverside Main Library, north elevation. Source: Page & Turnbull, December 2011.



Figure 7
Riverside Main Library, interior, circulation desk. Shows continuation into the interior of sculptural entry canopy. Source: Page & Turnbull, December 2011.

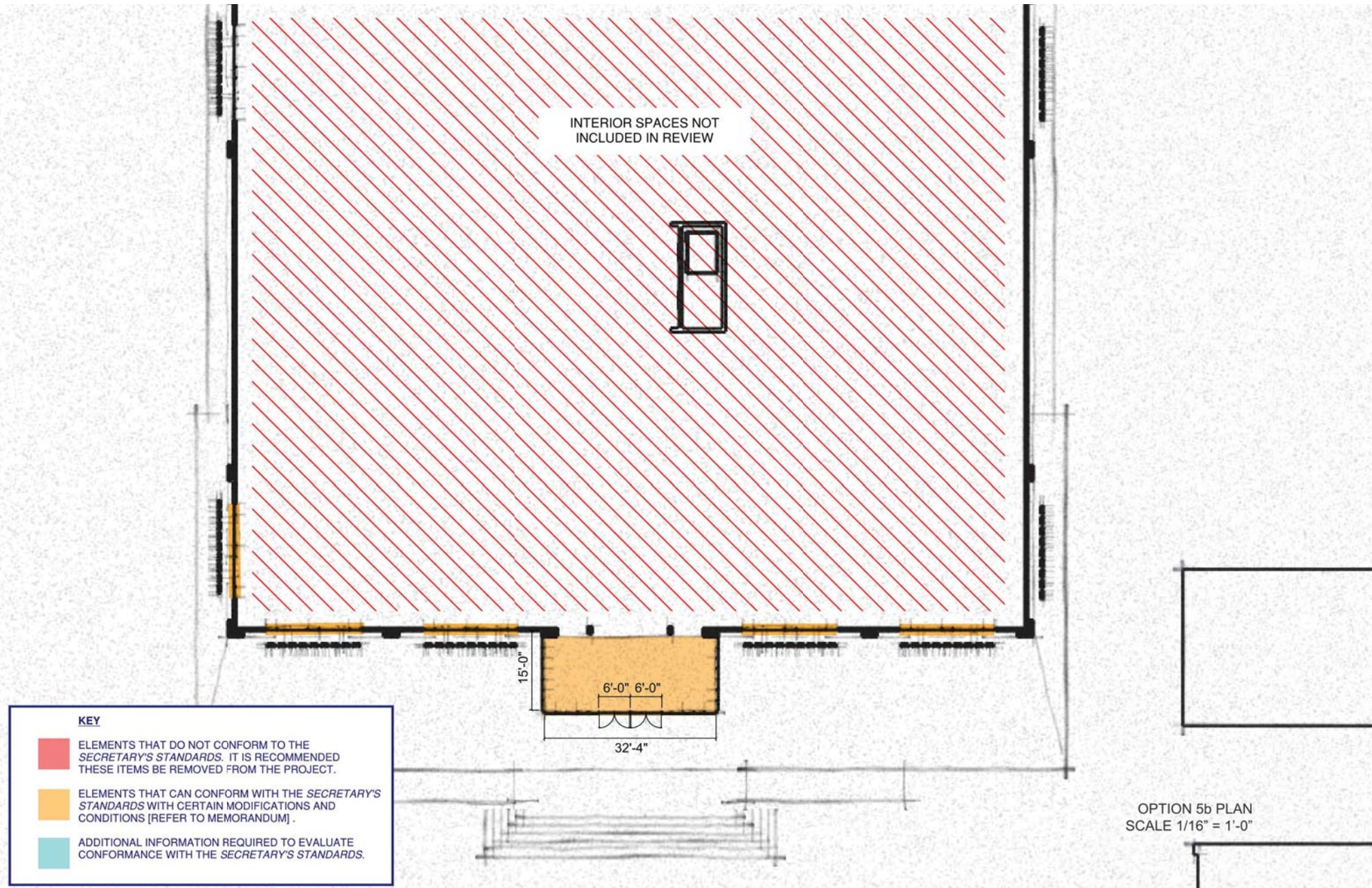
APPENDIX A – OPTION 5B SKETCHES

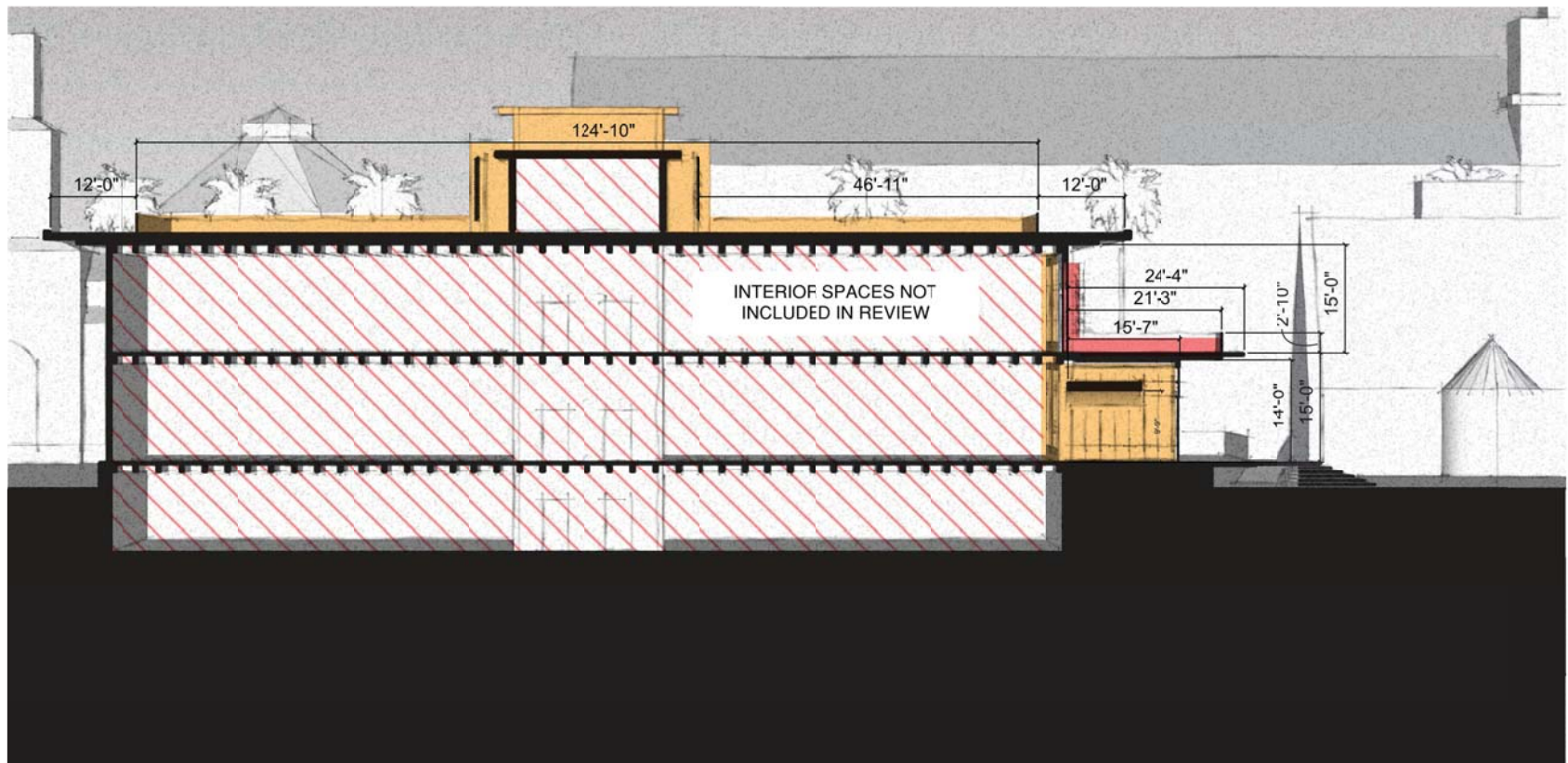


KEY

- ELEMENTS THAT DO NOT CONFORM TO THE *SECRETARY'S STANDARDS*. IT IS RECOMMENDED THESE ITEMS BE REMOVED FROM THE PROJECT.
- ELEMENTS THAT CAN CONFORM WITH THE *SECRETARY'S STANDARDS* WITH CERTAIN MODIFICATIONS AND CONDITIONS [REFER TO MEMORANDUM].
- ADDITIONAL INFORMATION REQUIRED TO EVALUATE CONFORMANCE WITH THE *SECRETARY'S STANDARDS*.

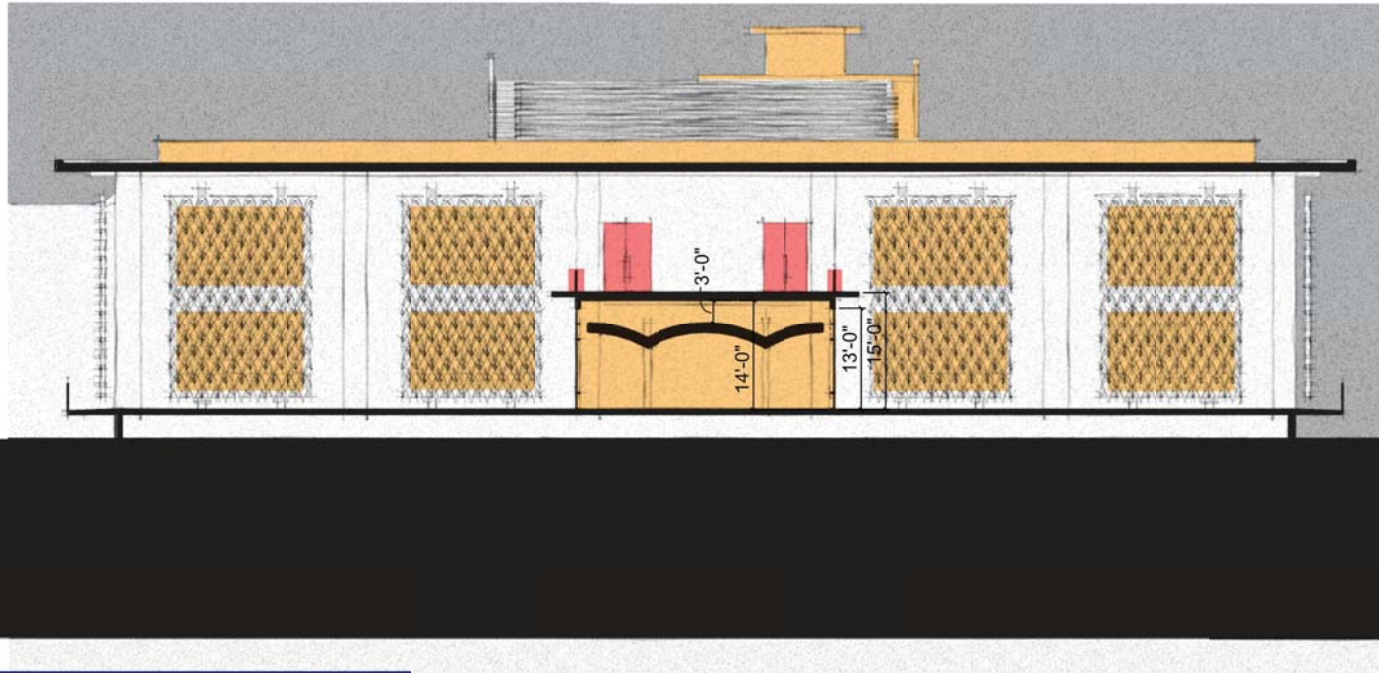
OPTION 5b ELEVATION
SCALE 1/16" = 1'-0"





KEY	
	ELEMENTS THAT DO NOT CONFORM TO THE <i>SECRETARY'S STANDARDS</i> . IT IS RECOMMENDED THESE ITEMS BE REMOVED FROM THE PROJECT.
	ELEMENTS THAT CAN CONFORM WITH THE <i>SECRETARY'S STANDARDS</i> WITH CERTAIN MODIFICATIONS AND CONDITIONS [REFER TO MEMORANDUM].
	ADDITIONAL INFORMATION REQUIRED TO EVALUATE CONFORMANCE WITH THE <i>SECRETARY'S STANDARDS</i> .

OPTION 5b SECTION
SCALE 1/16" = 1'-0"



KEY

- ELEMENTS THAT DO NOT CONFORM TO THE *SECRETARY'S STANDARDS*. IT IS RECOMMENDED THESE ITEMS BE REMOVED FROM THE PROJECT.
- ELEMENTS THAT CAN CONFORM WITH THE *SECRETARY'S STANDARDS* WITH CERTAIN MODIFICATIONS AND CONDITIONS [REFER TO MEMORANDUM].
- ADDITIONAL INFORMATION REQUIRED TO EVALUATE CONFORMANCE WITH THE *SECRETARY'S STANDARDS*.

OPTION 5b SECTION ENTRY
SCALE 1/16" = 1'-0"



City of Arts & Innovation

COMMUNITY DEVELOPMENT DEPARTMENT

Planning Division

EXHIBIT 5

Draft Mitigated Negative Declaration

WARD: 1

1. **Case Number:** P13-0084
2. **Project Title:** Riverside Main Library
3. **Hearing Date:** April 17, 2013
4. **Lead Agency:** City of Riverside
Community Development Department
Planning Division
3900 Main Street, 3rd Floor
Riverside, CA 92522
5. **Contact Person:** Teri Delcamp, Historic Preservation Senior Planner
Phone Number: (951) 826-2117
6. **Project Location:** 3581 Mission Inn Avenue
7. **Project Applicant/Project Sponsor's Name and Address:**
Tonya Kennon, Library Director
951-826-5213
City of Riverside, Library Department
3581 Mission Inn Avenue
Riverside, CA 92502
8. **General Plan Designation:** Downtown Specific Plan
9. **Zoning:** Downtown Specific Plan Raincross District, Cultural Resources Overlay
10. **Description of Project:** (Describe the whole action involved, including but not limited to later phases of the project, and any secondary, support, or off-site features necessary for its implementation. Attach additional sheets if necessary.)

The Downtown Main Library project consists of an exterior rehabilitation and interior remodel to accommodate library space and interior programming goals. The existing exterior would remain as is except for a lobby pop-out, potential windows punched through behind the exterior decorative concrete screen panels, and possible projection of the elevator tower through the roof beyond the height of the existing screen to provide access to a functional roof top plaza. Any options on the roof would require ADA access, handrails, etc. to be functional and safe for the public and patrons. Exterior changes are intended to achieve space programming goals while preserving historic fabric, massing and character-defining features on the exterior to the extent possible. Within the library grounds, the exterior hardscape would remain much as existing except for patching, repairing or replacing hardscape where needed and to ensure ADA requirements are met. The existing non-historic exterior handrail at the entry ramp and podium perimeter would be replaced with a more architecturally compatible railing. The existing four trees adjacent to the front of the building would be removed and replaced, but no other work is included for the plaza area. The Library's existing interior would be remodeled and may include relocation of the elevator tower and stairs.

Various options were proposed for the project, with Option 5b being the preferred and proposed alternative that is being analyzed under CEQA within this document. Option 5b is further described as including the following elements:

- Inserting glazing behind the existing exterior concrete screen panels to introduce more natural light to the interior of the library;
- Existing handrails around the podium to be removed and replaced;
- An elevator tower possibly extending 17'-2" above the existing roof, approximately six feet above the top of the existing equipment screen generally centered above the entry. A guardrail would be added to create a functional roof top plaza that would be approximately 2,000 SF in area.
- Preservation of the existing entry canopy roof within the lobby, and as proposed would have a roof above substantial enough to create a canopy roof deck (approx. 1,200 SF) accessed from the interior of the library.
- The brick veneered wall above the canopy would remain but as proposed would have two pairs of doors cut in to access the deck. A 2'-10" high railing around the canopy roof deck is shown, but would need to be higher per the Building Code.
- The new canopy would be 39'-4" wide and 24'-4" deep, with a smooth soffit so as not to compete with the existing canopy form.
- The front entry lobby would be 32'-4" wide and 15'-0" deep, consisting of two flanking pairs of glazed doors with glazed walls at the front and sides.
- Removal and replacement of four trees in front of the Library that are damaging concrete with same, or similar but smaller, species.

11. Surrounding land uses and setting: Briefly describe the project’s surroundings:

	Existing Land Use	General Plan Designation	Zoning Designation
Project Site	Public Facility (Library)	Downtown Specific Plan (DSP)	Downtown Specific Plan Raincross District, Cultural Resources Overlay (DSP-RC-CR)
North	Office (AT&T)	DSP	DSP-RC
East	Public Facility (Municipal Auditorium)	DSP	DSP-RC-CR
South	Public Facility & Commercial (Museum & Church)	DSP	DSP-RC-CR
West	Commercial (Hotel)	DSP	DSP-RC-CR

12. Other public agencies whose approval is required (e.g., permits, financial approval, or participation agreement.):

None

13. Other Environmental Reviews Incorporated by Reference in this Review:

- a. General Plan 2025

b. GP 2025 FPEIR

14. Acronyms

AICUZ -	Air Installation Compatible Use Zone Study
AQMP -	Air Quality Management Plan
AUSD -	Alvord Unified School District
CEQA -	California Environmental Quality Act
CMP -	Congestion Management Plan
EIR -	Environmental Impact Report
EMWD -	Eastern Municipal Water District
EOP -	Emergency Operations Plan
FEMA -	Federal Emergency Management Agency
FPEIR -	GP 2025 Final Programmatic Environmental Impact Report
GIS -	Geographic Information System
GhG -	Green House Gas
GP 2025 -	General Plan 2025
IS -	Initial Study
LHMP -	Local Hazard Mitigation Plan
MARB/MIP -	March Air Reserve Base/March Inland Port
MJPA-JLUS -	March Joint Powers Authority - Joint Land Use Study
MSHCP -	Multiple-Species Habitat Conservation Plan
MVUSD -	Moreno Valley Unified School District
NCCP -	Natural Communities Conservation Plan
OEM -	Office of Emergency Services
OPR -	Office of Planning & Research, State
PEIR -	Program Environmental Impact Report
PW -	Public Works, Riverside
RCALUC -	Riverside County Airport Land Use Commission
RCALUCP -	Riverside County Airport Land Use Compatibility Plan
RCP -	Regional Comprehensive Plan
RCTC -	Riverside County Transportation Commission
RMC -	Riverside Municipal Code
RPD -	Riverside Police Department
RPU -	Riverside Public Utilities
RTIP -	Regional Transportation Improvement Plan
RTP -	Regional Transportation Plan
RUSD -	Riverside Unified School District
SCAG -	Southern California Association of Governments
SCAQMD -	South Coast Air Quality Management District
SCH -	State Clearinghouse
SKR-HCP -	Stephens' Kangaroo Rat - Habitat Conservation Plan
SWPPP -	Storm Water Pollution Prevention Plan
USGS -	United States Geologic Survey
WMWD -	Western Municipal Water District
WQMP -	Water Quality Management Plan

ENVIRONMENTAL FACTORS POTENTIALLY AFFECTED:

The environmental factors checked below would be potentially affected by this project, involving at least one impact that is a “Potentially Significant Impact” as indicated by the checklist on the following pages.

- | | | |
|---|---|---|
| <input type="checkbox"/> Aesthetics | <input type="checkbox"/> Agriculture & Forest Resources | <input type="checkbox"/> Air Quality |
| <input type="checkbox"/> Biological Resources | <input checked="" type="checkbox"/> Cultural Resources | <input type="checkbox"/> Geology/Soils |
| <input type="checkbox"/> Greenhouse Gas Emissions | <input type="checkbox"/> Hazards & Hazardous Materials | <input type="checkbox"/> Hydrology/Water Quality |
| <input type="checkbox"/> Land Use/Planning | <input type="checkbox"/> Mineral Resources | <input type="checkbox"/> Noise |
| <input type="checkbox"/> Population/Housing | <input type="checkbox"/> Public Service | <input type="checkbox"/> Recreation |
| <input type="checkbox"/> Transportation/Traffic | <input type="checkbox"/> Utilities/Service Systems | <input type="checkbox"/> Mandatory Findings of Significance |

DETERMINATION: (To be completed by the Lead Agency)

On the basis of this initial evaluation which reflects the independent judgment of the City of Riverside, it is recommended that:

The City of Riverside finds that the proposed project COULD NOT have a significant effect on the environment, and a NEGATIVE DECLARATION will be prepared.

The City of Riverside finds that although the proposed project could have a significant effect on the environment, there will not be a significant effect in this case because revisions in the project have been made by or agreed to by the project proponent. A MITIGATED NEGATIVE DECLARATION will be prepared.

The City of Riverside finds that the proposed project MAY have a significant effect on the environment, and an ENVIRONMENTAL IMPACT REPORT is required.

The City of Riverside finds that the proposed project MAY have a “potentially significant impact” or “potentially significant unless mitigated” impact on the environment, but at least one effect 1) has been adequately analyzed in an earlier document pursuant to applicable legal standards, and 2) has been addressed by mitigation measures based on the earlier analysis as described on attached sheets. An ENVIRONMENTAL IMPACT REPORT is required, but it must analyze only the effects that remain to be addressed.

The City of Riverside finds that although the proposed project could have a significant effect on the environment, because all potentially significant effects (a) have been analyzed adequately in an earlier EIR or NEGATIVE DECLARATION pursuant to applicable standards, and (b) have been avoided or mitigated pursuant to that earlier EIR or NEGATIVE DECLARATION, including revisions or mitigation measures that are imposed upon the proposed project, nothing further is required.

Signature _____

Date March 22, 2013

Printed Name & Title Teri Delcamp, Historic Preservation Senior Planner

For City of Riverside



City of Arts & Innovation

COMMUNITY DEVELOPMENT DEPARTMENT

Planning Division

Environmental Initial Study

EVALUATION OF ENVIRONMENTAL IMPACTS:

- 1) A brief explanation is required for all answers except “No Impact” answers that are adequately supported by the information sources a lead agency cites in the parentheses following each question. A “No Impact” answer is adequately supported if the referenced information sources show that the impact simply does not apply to projects like the one involved (e.g., the project falls outside a fault rupture zone). A “No Impact” answer should be explained where it is based on project-specific factors as well as general standards (e.g., the project will not expose sensitive receptors to pollutants, based on a project-specific screening analysis).
- 2) All answers must take account of the whole action involved, including off-site as well as on-site, cumulative as well as project-level, indirect as well as direct, and construction as well as operational impacts.
- 3) Once the lead agency has determined that a particular physical impact may occur, then the checklist answers must indicate whether the impact is potentially significant, less than significant with mitigation, or less than significant. “Potentially Significant Impact” is appropriate if there is substantial evidence that an effect may be significant. If there are one or more “Potentially Significant Impact” entries when the determination is made, an EIR is required.
- 4) “Negative Declaration: Less Than Significant With Mitigation Incorporated” applies where the incorporation of mitigation measures has reduced an effect from “Potentially Significant Impact” to a “Less Than Significant Impact.” The lead agency must describe the mitigation measures, and briefly explain how they reduce the effect to a less than significant level (mitigation measures from “Earlier Analyses,” as described in (5) below, may be cross-referenced).
- 5) Earlier analyses may be used where, pursuant to the tiering, program EIR, or other CEQA process, an effect has been adequately analyzed in an earlier EIR or negative declaration. Section 15063(c)(3)(D). In this case, a brief discussion should identify the following:
 - a. **Earlier Analysis Used.** Identify and state where they are available for review.
 - b. **Impacts Adequately Addressed.** Identify which effects from the above checklist were within the scope of and adequately analyzed in an earlier document pursuant to applicable legal standards, and state whether such effects were addressed by mitigation measures based on the earlier analysis.
 - c. **Mitigation Measures.** For effects that are “Less than Significant with Mitigation Measures Incorporated,” describe the mitigation measure which were incorporated or refined from the earlier document and the extent to which they address site-specific conditions for the project.
- 6) Lead agencies are encouraged to incorporate into the checklist references to information sources for potential impacts (e.g., general plans, zoning ordinances). Reference to a previously prepared or outside document should, where appropriate, include a reference to the page or pages where the statement is substantiated.

- 7) Supporting Information Sources: A source list should be attached, and other sources used or individuals contacted should be cited in the discussion.
- 8) The explanation of each issue should identify:
 - a. the significance criteria or threshold, if any, used to evaluate each question; and
 - b. the mitigation measure identified, if any, to reduce the impact to less than significance.

DRAFT

ISSUES (AND SUPPORTING INFORMATION SOURCES):	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
1. AESTHETICS. Would the project:				
a. Have a substantial adverse effect on a scenic vista?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
1a. Response: <i>(Source: General Plan 2025 Figure CCM-4 – Master Plan of Roadways, General Plan 2025 FPEIR Figure 5.1-1 – Scenic and Special Boulevards and Parkways, Table 5.1-A – Scenic and Special Boulevards, and Table 5.1-B – Scenic Parkways)</i>				
Less Than Significant Impact. The proposed project may affect scenic views/scenic vistas because the site is located along a Scenic and Special Boulevard. However, the exterior alterations are minor and the Library is set back from Mission Inn at such a distance as to make the potential for impacts on the Scenic and Special Boulevard a less than significant impact directly, indirectly and cumulatively.				
b. Substantially damage scenic resources, including, but not limited to, trees, rock outcroppings, and historic buildings within a state scenic highway?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
1b. Response: <i>(Source: General Plan 2025 Figure CCM-4 – Master Plan of Roadways, General Plan 2025 FPEIR Figure 5.1-1 – Scenic and Special Boulevards, Parkways, Table 5.1-A – Scenic and Special Boulevards, Table 5.1-B – Scenic Parkways, the City’s Urban Forest Tree Policy Manual, Title 20 – Cultural Resources and, Title 19 – Article V – Chapter 19.100 – Residential Zones - RC Zone)</i>				
Less Than Significant Impact. The General Plan 2025 designates several roadways as Scenic Boulevards and Parkways in order to protect scenic resources and enhance the visual character of Riverside. The proposed project is located along Mission Inn Avenue which is designated as a Scenic/Special Boulevard within the Circulation and Community Mobility Element of the General Plan 2025. The Library is also eligible for the California Register of Historical Resources and as a City Landmark. Potential impacts associated with the site as an eligible historic resource are addressed under Section 5a. The General Plan 2025 includes policies intended to minimize aesthetic impacts and impacts on visual resources and this project will comply with these policies. The exterior alterations are minor and the Library is set back from Mission Inn at such a distance as to make the potential for impacts on the Scenic and Special Boulevard a less than significant impact directly, indirectly and cumulatively.				
c. Substantially degrade the existing visual character or quality of the site and its surroundings?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
1c. Response: <i>(Source: General Plan 2025, General Plan 2025 FPEIR, Zoning Code, Citywide Design and Sign Guidelines, Mission Inn and Seventh Street Historic Districts, and Downtown Specific Plan)</i>				
Less Than Significant Impact. The proposed project consists of a minor modification to an existing Library within an urbanized, downtown area completely surrounded by existing development. The project has been designed to be compatible with the Library’s architecture in accordance with the Downtown Specific Plan Design Guidelines and the Secretary of the Interior’s Standards for the Treatment of Historic Properties for the building itself and its context within two historic districts. The only site features that would be affected with this project are the four existing original trees in front of the library and the non-historic handrail along the entry ramps and around the podium. The trees will be replaced with similar form and character trees and the handrail will be more compatible. More specific details about potential impacts to the historic building are addressed in Section 5a below. Due to all these factors, direct, indirect and cumulative impacts on the visual character and quality of the area are less than significant impacts .				
d. Create a new source of substantial light or glare which would adversely affect day or nighttime views in the area?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
1d. Response: <i>(Source: General Plan 2025, General Plan 2025 FPEIR Figure 5.1-2 – Mount Palomar Lighting Area, Title 19 – Article VIII – Chapter 19.556 – Lighting, Citywide Design and Sign Guidelines, Downtown Specific Plan and Mission Inn and Seventh Street Historic Districts Historic District)</i>				

ISSUES (AND SUPPORTING INFORMATION SOURCES):	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
<p>Less Than Significant Impact. The project would not result in a new source of substantial light or glare which would adversely affect day or nighttime views. No new exterior lighting is proposed and the project consists of minor modifications to an existing building in a fully developed site where adequate levels of lighting currently exist. The slight increase in light emanating from new windows behind the dove screens and from the lobby projection that will be in front of an already glazed element of the Library will not create substantial adverse impacts on the surrounding area. As such the project will have no impact directly, indirectly or cumulatively which would adversely affect day or nighttime views.</p>				
<p>2. AGRICULTURE AND FOREST RESOURCES:</p>				
<p>In determining whether impacts to agricultural resources are significant environmental effects, lead agencies may refer to the California Agricultural Land Evaluation and Site Assessment Model (1997) prepared by the California Dept. of Conservation as an optional model to use in assessing impacts on agriculture and farmland. In determining whether impacts to forest resources, including timberland, are significant environmental effects, lead agencies may refer to information compiled by the California Department of Forestry and Fire Protection regarding the state's inventory of forest land, including the Forest and Range Assessment Project and the Forest Legacy Assessment project; and the forest carbon measurement methodology provided in the Forest Protocols adopted by the California Air Resources Board. Would the project:</p>				
<p>a. Convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland), as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use?</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<p>2a. Response:</p> <p>No Impact. The project is located in an urbanized area of the City in an existing public institutional development. Additionally, the site is identified as urban/built out land and therefore does not support agricultural resources or operations. There are no agricultural resources or operations, including farmlands within proximity of the subject site. Therefore, the project will have no impact directly, indirectly or cumulatively on agricultural uses.</p>				
<p>b. Conflict with existing zoning for agricultural use, or a Williamson Act contract?</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<p>2b. Response: (Source: General Plan 2025 – Figure OS-3 - Williamson Act Preserves, General Plan 2025 FPEIR – Figure 5.2-4 – Proposed Zones Permitting Agricultural Uses, and Title 19)</p>				
<p>No Impact. The site is within a built environment and no Williamson Act contracts are implemented on the site. The proposed project will not conflict with existing zoning for agricultural uses or any applicable Williamson Act contracts. Therefore, no impacts will occur from this project directly, indirectly or cumulatively.</p>				
<p>c. Conflict with existing zoning for, or cause rezoning of, forest land (as defined in Public Resources Code section 12220(g)) timberland (as defined in Public Resources Code section 4526), or timberland zoned Timberland Production (as defined by Government Code section 51104(g))?</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<p>2c. Response: (Source: GIS Map – Forest Data)</p> <p>No Impact. The City of Riverside has no forest land that can support 10-percent native tree cover nor does it have any timberland. Therefore, no impacts will occur from this project directly, indirectly or cumulatively.</p>				

ISSUES (AND SUPPORTING INFORMATION SOURCES):	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
d. Result in the loss of forest land or conversion of forest land to non-forest use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<p>2d. Response: (Source: GIS Map – Forest Data)</p> <p>No Impact. The City of Riverside has no forest land that can support 10-percent native tree cover nor does it have any timberland, therefore no impacts will occur from this project directly, indirectly or cumulatively.</p>				
e. Involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland, to non-agricultural use or conversion of forest land to non-forest use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<p>2e. Response: (Source: General Plan – Figure OS-2 – Agricultural Suitability, Figure OS-3 – Williamson Act Preserves, and GIS Map – Forest Data)</p> <p>No Impact. The project is located in an urbanized area of the City in an existing public institutional development. Additionally, the site is identified as urban/built out land and therefore does not support agricultural resources or operations. The project will not result in the conversion of designated farmland to non-agricultural uses. In addition, there are no agricultural resources or operations, including farmlands within proximity of the subject site. The City of Riverside has no forest land that can support 10-percent native tree cover. Therefore, no impacts will occur from this project directly, indirectly or cumulatively to conversion of Farmland, to non-agricultural use or to the loss of forest land.</p>				
3. AIR QUALITY.				
Where available, the significance criteria established by the applicable air quality management or air pollution control district may be relied upon to make the following determinations. Would the project:				
a. Conflict with or obstruct implementation of the applicable air quality plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<p>3a. Response: (Source: South Coast Air Quality Management District’s 2007 Air Quality Management Plan (AQMP))</p> <p>No Impact. The proposed minor addition to the existing Library is consistent with the General Plan 2025 Program “Typical Growth Scenario” in all aspects. The Air Quality Management Plan (AQMP) for the South Coast Air Basin (SCAB) sets forth a comprehensive program that will lead the SCAB into compliance with all Federal and State air quality standards. The City of Riverside is located within the Riverside County sub region of the SCAG projections. The General Plan 2025 FPEIR determined that implementation of the General Plan 2025 would generally meet attainment forecasts and attainment of the standards of the AQMP. The General Plan 2025 contains policies to promote mixed use, pedestrian-friendly communities that serve to reduce air pollutant emissions over time and this project is consistent with these policies. Because the proposed project is consistent with the 2007 AQMP, the proposed project will not conflict or obstruct implementation of the applicable air quality plan – AQMP and therefore this project will have no impact directly, indirectly or cumulatively to the implementation of an air quality plan.</p>				
b. Violate any air quality standard or contribute substantially to an existing or projected air quality violation?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

ISSUES (AND SUPPORTING INFORMATION SOURCES):	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
<p>3b. Response: <i>(Source: General Plan 2025 FPEIR Table 5.3-B SCAQMD CEQA Regional Significance Thresholds, South Coast Air Quality Management District's 2007 AQMP, CalEEMod Model.</i></p> <p>No Impact. The project will not result in the violation of any ambient air quality standard or contribute substantially to an existing or projected air quality violation because the project is proposed on a previously developed site and involves only 500 square feet of additional interior floor space, along with an interior remodel. No site preparation, grading, or paving will occur. Demolition will be only for small sections of building walls, and interior fixtures and fittings. Construction will be short-lived and operational characteristics will be substantially the same as existing. Such criteria were not of sufficient quantities to trigger thresholds within the CalEEMod model for any required mitigation. Therefore, the project will have no impact directly, indirectly or cumulatively to ambient air quality or contribute to an existing air quality violation.</p>				
<p>c. Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable federal or state ambient air quality standard (including releasing emissions which exceed quantitative thresholds for ozone precursors)?</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<p>3c. Response: <i>(Source: General Plan 2025 FPEIR Table 5.3-B SCAQMD CEQA Regional Significance Thresholds, South Coast Air Quality Management District's 2007 Air Quality Management Plan, CalEEMod 2007 Model</i></p> <p>Less Than Significant Impact. Per the GP 2025 FPEIR, AQMP thresholds indicate future construction activities under the General Plan are projected to result in significant levels of NOx and ROG, both ozone precursors, PM-10, PM-2.5 and CO. Although long-term emissions are expected to decrease by 2025, all criteria pollutants remain above the SCAQMD thresholds.</p> <p>The portion of the Basin within which the City is located is designated as a non-attainment area for ozone, PM-10 and PM-2.5 under State standards, and as a non-attainment area for ozone, carbon monoxide, PM-10, and PM-2.5 under Federal standards.</p> <p>Because the proposed project is consistent with the General Plan 2025, cumulative impacts related to criteria pollutants as a result of the project were previously evaluated as part of the cumulative analysis of build out anticipated under the General Plan 2025 Program. As a result, the proposed project does not result in any new significant impacts that were not previously evaluated and for which a statement of overriding considerations was adopted as part of the General Plan 2025 FPEIR. Therefore, cumulative air quality emissions impacts are less than significant.</p>				
<p>d. Expose sensitive receptors to substantial pollutant concentrations?</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<p>3d. Response: <i>(Source: General Plan 2025 FPEIR Table 5.3-B SCAQMD CEQA Regional Significance Thresholds, South Coast Air Quality Management District's 2007 Air Quality Management Plan, CalEEMod Model</i></p> <p>Less Than Significant Impact. Residential units are located within 1,000 feet of the Library. Short-term impacts associated with construction from General Plan 2025 typical build out will result in very minimal increased air emissions from construction activities. Mitigation Measures of the General Plan 2025 FPEIR requires individual development to employ construction approaches that minimize pollutant emissions (General Plan 2025 FPEIR MM AIR 1- MM AIR 5, e.g., tuning equipment, limiting truck idling times) which will be required as standard conditions. Per 3b above, the project is not of sufficient quantities to trigger thresholds within the CalEEMod model for any required mitigation. Therefore, the project will not expose sensitive receptors to substantial pollutant concentrations and a less than significant impact will occur directly, indirectly or cumulatively for this project.</p>				
<p>e. Create objectionable odors affecting a substantial number of people?</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

ISSUES (AND SUPPORTING INFORMATION SOURCES):	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
<p>3e. Response:</p> <p>No Impact. The project would not expose a substantial number of people to objectionable odors because no odors are anticipated to be generated by the addition to the existing Library use. Therefore, no impact to creating objectionable odors will occur directly, indirectly or cumulatively.</p>				
<p>4. BIOLOGICAL RESOURCES.</p>				
<p>Would the project:</p>				
<p>a. Have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Game or U.S. Fish and Wildlife Service?</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<p>4a. Response: (Source: General Plan 2025 – Figure OS-6 – Stephen’s Kangaroo Rat (SKR) Core Reserve and Other Habitat Conservation Plans (HCP), Figure OS-7 – MSHCP Cores and Linkages, Figure OS-8 – MSHCP Cell Areas, General Plan 2025 FPEIR Figure 5.4-2 – MSHCP Area Plans, Figure 5.4-4 - MSHCP Criteria Cells and Subunit Areas, Figure 5.4-6 – MSHCP Narrow Endemic Plant Species Survey Area, Figure 5.4-7 – MSHCP Criteria Area Species Survey Area, Figure 5.4-8 – MSHCP Burrowing Owl Survey Area)</p> <p>No Impact. The project site is located on a previously developed/improved site within an urbanized area and a search of the MSHCP database and other appropriate databases identified no potential for candidate, sensitive or special status species, Federal Species of Concern, California Species of Special Concern, and California Species Animal or Plants on lists 1-4 of the California Native Plant Society (CNPS) Inventory or suitable habitat for such species on site. Therefore, the project will have no impact directly, indirectly and cumulatively on habitat modifications, species identified as a candidate, sensitive, or special status species in local or regional plans, and policies or regulations of the California Department of Fish and Game or U.S. Fish and Wildlife Service.</p>				
<p>b. Have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, regulations or by the California Department of Fish and Game or U.S. Fish and Wildlife Service?</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<p>4b. Response: (Source: General Plan 2025 – Figure OS-6 – Stephen’s Kangaroo Rat (SKR) Core Reserve and Other Habitat Conservation Plans (HCP), Figure OS-7 – MSHCP Cores and Linkages, Figure OS-8 – MSHCP Cell Areas, General Plan 2025 FPEIR Figure 5.4-2 – MSHCP Area Plans, Figure 5.4-4 - MSHCP Criteria Cells and Subunit Areas, Figure 5.4-6 – MSHCP Narrow Endemic Plant Species Survey Area, Figure 5.4-7 – MSHCP Criteria Area Species Survey Area, Figure 5.4-8 – MSHCP Burrowing Owl Survey Area, MSHCP Section 6.1.2 - Protection of Species Associated with Riparian/Riverine Areas and Vernal Pools)</p> <p>No Impact. The project is located on a previously developed/improved site within an urbanized area where no riparian habitat or other sensitive natural community exists on site or within proximity to the project site. Therefore, the project will have no impact on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, or regulations, or by the California Department of Fish and Game or U.S. Fish and Wildlife Service directly, indirectly and cumulatively.</p>				
<p>c. Have a substantial adverse effect on federally protected wetlands as defined by Section 404 of the Clean Water Act (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means?</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

ISSUES (AND SUPPORTING INFORMATION SOURCES):	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
<p>4c. Response: <i>(Source: City of Riverside GIS/CADME USGS Quad Map Layer)</i></p> <p>No Impact. The project is located within an urbanized area where no federally protected wetlands as defined by Section 404 of the Clean Water Act (including, but not limited to, marsh, vernal pool, coastal, etc.) exist on site or within proximity to the project site. The project site does not contain any discernible drainage courses, inundated areas, wetland vegetation, or hydric soils and thus does not include USACOE jurisdictional drainages or wetlands. Therefore, the proposed project would have no impact to federally protected wetlands as defined by Section 404 of the Clean Water Act directly, indirectly and cumulatively.</p>				
<p>d. Interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites?</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<p>4d. Response: <i>(Source: MSHCP, General Plan 2025 – Figure OS-7 – MSHCP Cores and Linkage)</i></p> <p>No Impact. The project is within an urbanized area and will not result in a barrier to the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites. Therefore, the project will have no impact to wildlife movement directly, indirectly and cumulatively.</p>				
<p>e. Conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance?</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<p>4e. Response: <i>(Source: MSHCP, Title 16 Section 16.72.040 – Establishing the Western Riverside County MSHCP Mitigation Fee, Title 16 Section 16.40.040 – Establishing a Threatened and Endangered Species Fees, City of Riverside Urban Forest Tree Policy Manual)</i></p> <p>Less Than Significant Impact. The project proposes the addition of a 500 square foot lobby projection and interior modifications to the Library. The four existing trees directly in front of the Library, which are damaging and lifting concrete, will be removed. They will be replaced with smaller specimens that are the same species as existing or a species that has similar form characteristics but may be smaller at maturity and cause less damage from roots. The General Plan 2025 includes policies to ensure that future development would not conflict with any local policies or ordinances protecting biological resources, including tree preservation policies, and the City also maintains an Urban Forest Tree Policy Manual for street rights-of-way and public parks and properties. This project has been reviewed against these policies and the manual, and found to be in compliance with these documents. As noted in 4a-d above, there are no endangered and threatened species on or near the site. For these reasons, the project will have a less than significant impact directly, indirectly and cumulatively on local policies or ordinances protecting biological resources and tree preservation.</p>				
<p>f. Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Community Conservation Plan, or other approved local, regional, or state habitat conservation plan?</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<p>4f. Response: <i>(Source: MSHCP, General Plan 2025 – Figure OS-6 – Stephen’s Kangaroo Rat (SKR) Core Reserve and Other Habitat Conservation Plans (HCP), Stephens’ Kangaroo Rat Habitat Conservation Plan)</i></p> <p>No Impact. The project site is located on a previously developed/improved site within an urbanized area and will not impact an adopted Habitat Conservation Plan, Natural Community Conservation Plan, or other approved local, regional, or State habitat conservation plan directly, indirectly and cumulatively. Therefore, the project will have no impact on the provisions of an adopted Habitat Conservation Plan, Natural Community Conservation Plan, or other approved local, regional, or State habitat conservation plan.</p>				

ISSUES (AND SUPPORTING INFORMATION SOURCES):	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
5. CULTURAL RESOURCES. Would the project:				
a. Cause a substantial adverse change in the significance of a historical resource as defined in § 15064.5 of the CEQA Guidelines?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<p>5a. Response: <i>(Source: GP 2025 FPEIR Table 5.5-A Historical Districts and Neighborhood Conservation Areas and Appendix D, Title 20 of the Riverside Municipal Code, City of Riverside Modernism Context Statement including Library DPR Form, and Page and Turnbull's Riverside Library Secretary of The Interior's Rehabilitation Standards Review, 2013.)</i></p> <p>Less Than Significant Impact with Mitigation. The proposed project involves an exterior rehabilitation involving a 500 square foot exterior glazed entry addition to the Riverside Main Library and other minor exterior modifications, and an interior remodel to accommodate library space and interior programming goals. As such it is a Rehabilitation of a historical resource as defined under Section 15064.5 (a) of the CEQA Guidelines. Per the CEQA Guidelines the Library is considered a historical resource because it has been identified in a qualified survey (Modernism Context Statement, Appendix II) as being eligible for the California Register of Historical Resources and eligible as a City Landmark (historic status codes 3CS/5S3). It is also within two designated historic districts: Mission Inn and Seventh Street Historic Districts. As a resource defined in Title 20 of the Riverside Municipal Code, the project is subject to review under a Certificate of Appropriateness application.</p> <p>As described in the evaluation completed for the Library with the Modernism Context Statement historic survey, the Main Library is typical of the New Formalism style of architecture that figured prominently during the mid-20th century. The building is square in plan and topped by a flat roof overhang that acts like a cornice. The main (southwest) facade is marked by a curved plate canopy over the entrance. Each curve in the canopy features a cluster of three hanging globe lamps. Each building facade has flat, concrete piers attached to the smooth brick wall that separate it into bays. In front of the walls are large concrete screen panels of organic diamond patterning. Two are on each side of the entrance. The Orange and Lemon Street facades have one screen at the south end, a longer central bay, and a second screen at the third bay before a shorter fourth bay. The 6th Street facade has a few, small windows. On the southwest of the building's Mission Inn Avenue facade is a ramp with an original concrete wall and original sign "Riverside Public Library." The wrought iron railing in front of the building was added in the 1980s, but its design mirrors or mimics the pattern of the screens and is not a contributing feature. The building is accessed from Mission Inn Avenue from the original wide flight of steps and new splayed concrete paths between grass. Four trees are set generally in front of the screens at the main façade, and around the new semi-circular entrance landscaping. Originally, there were fountains within the plaza; then later in the 1980s, a rose garden. The site also has the Chinese pavilion at the southwest corner. Although appearing to be on the same site, the church at the southeast corner is actually on its own separate parcel. The library is surrounded by a surface parking lot at the north, northwest and northeast sides.</p> <p>A Certificate of Appropriateness application (case number P13-0084) is being reviewed pursuant to adopted City procedures (Title 20) to determine if the proposed alterations would have a significant adverse environmental effect as defined by CEQA. Pursuant to this review under CEQA, a formal evaluation of the project's consistency with the Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines for Rehabilitation was conducted by Page & Turnbull (P&T). The report identified character-defining features of the Library's exterior, outlined applicable Standards and Guidelines, and included some additional recommendations. Key exterior character-defining features include:</p> <p><u>Exterior:</u></p> <ul style="list-style-type: none"> • Symmetrical design composition • Emphasis on the horizontal axis through massing and details (such as the running-bond • patterning of exterior brick veneer) • Smooth exterior walls surfaces with brick veneer • Pronounced projecting roof eave/cornice line 				

ISSUES (AND SUPPORTING INFORMATION SOURCES):	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
<ul style="list-style-type: none"> • Square, full-height concrete pilasters across façade and on side elevations • Full-height, latticework concrete screens with diamond patterning on main façade and side elevations • Sculptural concrete entrance canopy and grouped globe lights • Symmetrical entry <p>The intent of the project is to implement interior space adjustments to maximize efficient programming and operations for the Library while at the same time preserving the structure and the exterior with minor alterations. As noted above, some of exterior features may be affected by the project and these are discussed in the next section.</p> <p>P&T presented recommendations for project details to be incorporated as the project moves into the more detailed design and construction drawing phases. These recommendations formed the basis for mitigation measures that have been applied to the project to preserve the integrity of the Library as a historic resource while ensuring it continues to serve the community as a viable and thriving educational resource. The measures require some revisions to the project to modify or eliminate certain aspects of the conceptual design as submitted, and for revisions to be reviewed and approved by the Cultural Heritage Board staff prior to issuance of building permits. Through compliance with the following mitigation measures, direct, indirect and cumulative impacts to historic resources will be less than significant.</p> <p>Cultural Resources MM 1: Prior to the issuance of building permits, the applicant shall submit for review and obtain the approval of CHB staff for detailed architectural drawings that are consistent with the Secretary of the Interior’s Standards and show the following:</p> <ol style="list-style-type: none"> a. Elimination of the solid deck, railing and doors above the exterior lobby entry projection. b. Details of the wall-to-wall connection of the lobby entry projection to the existing face of the building, showing a notch in as sketched in the Page & Turnbull SOIS memo to clearly differentiate the new construction. c. Design of the lobby entry projection to appear as light, transparent and seamless as possible along the front and sides, and ceiling/roof with, if feasible, incorporation of skylights, laylights or structural glass that will allow for natural illumination. d. Details of the windows to be installed behind the existing decorative concrete screen panels. Window edges are to be set back from the edges of the screens so as to be minimally visible. e. Details of the replacement exterior handrail to be simple and modern for maximum compatibility with the New Formalism style of the Library. f. View simulation and details showing that the main roof-top deck railing is adequately set back from the edges of the existing roof; is the minimum guard rail height required by the Uniform Building Code; is of a simple and modern design compatible with the Library; and is not visible from street view sight lines. g. That any skylights on the main roof are flush with the roof or low profile, and located, so as not to be visible from street view sight lines. h. Preservation of the existing canopy roof continuing to the interior, with preservation of the clustered globe lights. i. Replacement of the original four trees directly in front of the Library with the same or similar but 				

ISSUES (AND SUPPORTING INFORMATION SOURCES):	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
<p>smaller species that will have a similar form but not cause root damage or obscure views of the Library.</p>				
<p>j. That to the extent feasible, the applicant has worked with CHB staff regarding the retention of key spatial relationships, features and/or materials that help convey the character of the Main Library, to balance operational and preservation goals.</p>				
<p>b. Cause a substantial adverse change in the significance of an archeological resource pursuant to § 15064.5 of the CEQA Guidelines?</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<p>5b. Response: (Source: GP 2025 FPEIR Figure 5.5-1 - Archaeological Sensitivity and Figure 5.5-2 - Prehistoric Cultural Resources Sensitivity, Appendix D – Cultural Resources Study)</p> <p>No Impact. The project is located on a previously developed/improved site within an urbanized area where no activities, such as new development involving grading/ground disturbance, are proposed that would create potential for disturbance or archeological resources. Therefore, the project will have no impact directly, indirectly and cumulatively to an archeological resource pursuant to Section 15064.5 of the CEQA Guidelines.</p>				
<p>c. Directly or indirectly destroy a unique paleontological resource or site or unique geologic feature?</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<p>5c. Response: (Source: General Plan 2025 Policy HP-1.3)</p> <p>No Impact. The project is located on a previously developed/improved site within an urbanized area where no activities, such as new development involving grading/ground disturbance, are proposed that would create a potential for disturbance of paleontological resources or site or unique geologic features. Therefore, the project will have no impact directly or indirectly on a unique paleontological resource or site or unique geologic feature.</p>				
<p>d. Disturb any human remains, including those interred outside of formal cemeteries?</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<p>5d. Response: (Source: GP 2025 FPEIR Figure 5.5-1 - Archaeological Sensitivity and Figure 5.5-2 - Prehistoric Cultural Resources Sensitivity)</p> <p>No Impact. The project is located on a previously developed/improved site within an urbanized area where no activities, such as new development involving grading/ground disturbance, are proposed that would create potential for disturbance of human remains. Therefore, the project will have no impact directly, indirectly or cumulatively to disturb any human remains, including those interred outside of formal cemeteries.</p>				
<p>6. GEOLOGY AND SOILS. Would the project:</p>				
<p>a. Expose people or structures to potential substantial adverse effects, including the risk of loss, injury, or death involving:</p>				
<p>i. Rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault? Refer to Division of Mines and Geology Special Publication 42.</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<p>6i. Response: (Source: General Plan 2025 Figure PS-1 – Regional Fault Zones & General Plan 2025 FPEIR Appendix E – Geotechnical Report)</p>				
<p>No Impact. Seismic activity is to be expected in Southern California. In the City of Riverside, there are no Alquist-Priolo</p>				

ISSUES (AND SUPPORTING INFORMATION SOURCES):	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
<p>zones. The project site does not contain any known fault lines and the potential for fault rupture or seismic shaking is low. Compliance with the California Building Code regulations will ensure that no impacts related to strong seismic ground will occur directly, indirectly and cumulatively.</p>				
ii. Strong seismic ground shaking?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<p>6ii. Response: <i>(Source: General Plan 2025 FPEIR Appendix E – Geotechnical Report)</i></p> <p>No Impact. The San Jacinto Fault Zone located in the northeastern portion of the City, or the Elsinore Fault Zone, located in the southern portion of the City’s Sphere of Influence, have the potential to cause moderate to large earthquakes that would cause intense ground shaking. Because the proposed project complies with California Building Code regulations, impacts associated with strong seismic ground shaking will have no impact directly, indirectly and cumulatively.</p>				
iii. Seismic-related ground failure, including liquefaction?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<p>6iii. Response: <i>(Source: General Plan 2025 Figure PS-1 – Regional Fault Zones, Figure PS-2 – Liquefaction Zones, General Plan 2025 FPEIR Figure PS-3 – Soils with High Shrink-Swell Potential, and Appendix E – Geotechnical Report)</i></p> <p>No Impact. The project site is located in an area with very low potential for liquefaction as depicted in the General Plan 2025 Liquefaction Zones Map – Figure PS-2. Compliance with the California Building Code regulations will ensure that impacts related to seismic-related ground failure, including liquefaction would have no impact directly, indirectly and cumulatively.</p>				
iv. Landslides?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<p>6iv. Response: <i>(Source: General Plan 2025 FPEIR Figure 5.6-1 – Areas Underlain by Steep Slope, Appendix E – Geotechnical Report, Title 18 – Subdivision Code, Title 17 – Grading Code)</i></p> <p>No Impact. The project site and its surroundings have generally flat topography and are not located in an area prone to landslides per Figure 5.6-1 of the General Plan 2025 Program Final PEIR. Therefore, there will be no impact related to landslides directly, indirectly and cumulatively.</p>				
b. Result in substantial soil erosion or the loss of topsoil?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<p>6b. Response: <i>(Source: General Plan 2025 FPEIR Figure 5.6-1 – Areas Underlain by Steep Slope, Figure 5.6-4 – Soils, Table 5.6-B – Soil Types, Title 18 – Subdivision Code, Title 17 – Grading Code)</i></p> <p>No Impact. The project does not involve development, grading activities, or structures that would result in soil erosion or the loss of topsoil. As such, the project will have no impact resulting in substantial soil erosion or loss of topsoil directly, indirectly or cumulatively.</p>				
c. Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on- or off-site landslide, lateral spreading, subsidence, liquefaction or collapse?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<p>6c. Response: <i>(Source: General Plan 2025 Figure PS-1 – Regional Fault Zones, Figure PS-2 – Liquefaction Zones, General Plan 2025 FPEIR Figure PS-3 – Soils with High Shrink-Swell Potential, Figure 5.6-1 - Areas Underlain by Steep Slope, Figure 5.6-4 – Soils, Table 5.6-B – Soil Types, and Appendix E – Geotechnical Report)</i></p> <p>No Impact. The project is not located on a geologic unit or soil that is unstable and will not cause soil to become unstable, as the project involves only a 500 square foot addition to an existing building on an existing concrete pad. As such, the project will have no impact resulting in a geologic unit or soil becoming unstable resulting in an on- or off-site landslide, lateral spreading, subsidence, liquefaction or collapse either directly, indirectly or cumulatively.</p>				
d. Be located on expansive soil, as defined in Table 18-1-B of the Uniform Building Code (1994), creating substantial risks to life or property?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

ISSUES (AND SUPPORTING INFORMATION SOURCES):	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
<p>6d. Response: <i>(Source: General Plan 2025 FPEIR Figure 5.6-4 – Soils, Figure 5.6-4 – Soils, Table 5.6-B – Soil Types, Figure 5.6-5 – Soils with High Shrink-Swell Potential, Appendix E – Geotechnical Report, and California Building Code as adopted by the City of Riverside and set out in Title 16 of the Riverside Municipal Code)</i></p>				
<p>No Impact. See response in 6c above. As such, the project will have no impact resulting in substantial risks to life or property due to expansive soils either directly, indirectly or cumulatively.</p>				
<p>e. Have soils incapable of adequately supporting the use of septic tanks or alternative waste water disposal systems where sewers are not available for the disposal of waste water?</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<p>6e. Response: <i>(Source: General Plan 2025 FPEIR Figure 5.6-4 – Soils, Table 5.6-B – Soil Types)</i></p>				
<p>No Impact. The project is served by sewer infrastructure. Therefore, the project will have no impact.</p>				

DRAFT

ISSUES (AND SUPPORTING INFORMATION SOURCES):	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
7. GREENHOUSE GAS EMISSIONS. Would the project:				
a. Generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<p>7a. Response:</p> <p>No Impact. The impact of buildout of the City’s General Plan 2025 related to GhGs was analyzed in the Final PEIR on pages 5.3-1 – pages 5.3-54, and was addressed in the Statement of Overriding Considerations for the General Plan. Pursuant to Public Resources Code Section 21083.3, this impact need not be analyzed further, because (1) the proposed project would result in an impact that was previously analyzed in the Final PEIR, which was certified by the City; (2) the proposed project would not result in any GhG impacts that were not addressed in the Final PEIR; (3) no substantial new information shows that impacts of the project will be more significant than described in the Final PEIR; and (4) the proposed project is consistent with the General Plan 2025.</p> <p>While Public Resources Code section 21083.3 requires that relevant mitigation measures from a General Plan EIR be imposed on a project that is invoking that section’s limited exemption from CEQA, the mitigation measures in the Final PEIR impose obligations on the City, not applicants, and so do not directly apply. Moreover, the proposed project will not result in a net increase in GhG emissions because it is so small in scope and involves the reprogramming of existing space needs for the Library and will not result in increased employees or air quality impacts as indicated in Section 3 above. Therefore, this project will have no impact with respect to GhG emissions.</p>				
b. Conflict with any applicable plan, policy or regulation of an agency adopted for the purpose of reducing the emissions of greenhouse gases?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<p>7b. Response:</p> <p>Less Than Significant Impact. The SCAQMD supports State, Federal and international policies to reduce levels of ozone depleting gases through its Global Warming Policy and rules and has established an interim Greenhouse Gas (GhG) threshold. As indicated in 7a above, the project need not be analyzed further, because (1) the proposed project would result in an impact that was previously analyzed in the Final PEIR, which was certified by the City; (2) the proposed project would not result in any GhG impacts that were not addressed in the Final PEIR; (3) no substantial new information shows that impacts of the project will be more significant than described in the Final PEIR; and (4) the proposed project is consistent with the General Plan 2025. In addition, the project would comply with any applicable SCAQMD rules and regulations during construction. Therefore, the project will not conflict with any applicable plan, policy or regulation related to the reduction in the emissions of GhG and thus a less than significant impact will occur directly, indirectly and cumulatively in this regard.</p>				
8. HAZARDS & HAZARDOUS MATERIALS. Would the project:				
a. Create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<p>8a. Response: <i>(Source: General Plan 2025 Public Safety Element, GP 2025 FPEIR, California Health and Safety Code, Title 49 of the Code of Federal Regulations, California Building Code, Riverside Fire Department EOP, 2002 and Riverside Operational Area – Multi-Jurisdictional LHMP, 2004 Part 1, OEM’s Strategic Plan)</i></p> <p>No Impact. The proposed project does not involve the transport, use, or disposal of any hazardous material because the use is an existing library and will remain as such. Therefore, the project will have no impact related to the transport, use, or disposal of any hazardous material either directly, indirectly and cumulatively.</p>				
b. Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

ISSUES (AND SUPPORTING INFORMATION SOURCES):	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
conditions involving the release of hazardous materials into the environment?				
<p>8b. Response: (Source: General Plan 2025 Public Safety Element, GP 2025 FPEIR Tables 5.7 A – D, California Health and Safety Code, Title 49 of the Code of Federal Regulations, California Building Code, City of Riverside’s EOP, 2002 and Riverside Operational Area – Multi-Jurisdictional LHMP, 2004 Part 1, OEM’s Strategic Plan)</p>				
<p>No Impact. The proposed project does not involve the use of any hazardous materials. As such the project will have no impact directly, indirectly or cumulatively for creating a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment.</p>				
c. Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<p>8c. Response: (Source: General Plan 2025 Public Safety and Education Elements, GP 2025 FPEIR Table 5.7-D - CalARP RMP Facilities in the Project Area, Figure 5.13-2 – RUSD Boundaries, Table 5.13-D RUSD Schools, Figure 5.13-3 AUSD Boundaries, Table 5.13-E AUSD Schools, Figure 5.13-4 – Other School District Boundaries, California Health and Safety Code, Title 49 of the Code of Federal Regulations, California Building Code)</p>				
<p>No Impact. The proposed project does not involve any emission or handling of any hazardous materials, substances or waste within one-quarter mile of an existing school because the proposed use is an existing library and will remain as such. Therefore, the project will have no impact regarding emitting hazardous emissions or handling hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school directly, indirectly or cumulatively.</p>				
d. Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would it create a significant hazard to the public or the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<p>8d. Response: (Source: General Plan 2025 Figure PS-5 – Hazardous Waste Sites, GP 2025 FPEIR Tables 5.7-A – CERCLIS Facility Information, Figure 5.7-B – Regulated Facilities in TRI Information and 5.7-C – DTSC EnviroStor Database Listed Sites)</p>				
<p>No Impact. A review of hazardous materials site lists compiled pursuant to Government Code Section 65962.5 found that the project site is not included on any such lists. Therefore, the project would have no impact to creating any significant hazard to the public or environment directly, indirectly or cumulatively.</p>				
e. For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project result in a safety hazard for people residing or working in the project area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<p>8e. Response: (Source: General Plan 2025 Figure PS-6 – Airport Safety Zones and Influence Areas)</p>				
<p>No Impact. The project site is not located within any airport land use plan area or compatibility zone. Therefore, the project will have no impact resulting in a safety hazard for people residing or working in the project area directly, indirectly or cumulatively.</p>				
f. For a project within the vicinity of a private airstrip, would the project result in a safety hazard for people residing or working in the project area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<p>8f. Response: (Source: General Plan 2025 Figure PS-6 – Airport Safety Zones and Influence Areas)</p>				

ISSUES (AND SUPPORTING INFORMATION SOURCES):	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
<p>No Impact. Because the proposed project is not located within proximity of a private airstrip, and does not propose a private airstrip, the project will not expose people residing or working in the City to excessive noise levels related to a private airstrip and would have no impact directly, indirectly or cumulatively.</p>				
g. Impair implementation of or physically interfere with an adopted emergency response plan or emergency evacuation plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<p>8g. Response: (Source: GP 2025 FPEIR Chapter 7.5.7 – Hazards and Hazardous Materials, City of Riverside’s EOP, 2002 and Riverside Operational Area – Multi-Jurisdictional LHMP, 2004 Part 1, and OEM’s Strategic Plan)</p> <p>No Impact. The project will not result in physical alterations to the project site that would impair implementation or physically interfere with an adopted emergency plan. Therefore, no impact, either directly, indirectly or cumulatively to an emergency response or evacuation plan will occur.</p>				
h. Expose people or structures to a significant risk of loss, injury or death involving wildland fires, including where wildlands are adjacent to urbanized areas or where residences are intermixed with wildlands?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<p>8h. Response: (Source: General Plan 2025 Figure PS-7 – Fire Hazard Areas, GIS Map Layer VHFSZ 2010, City of Riverside’s EOP, 2002, Riverside Operational Area – Multi-Jurisdictional LHMP, 2004 Part 1/Part 2 and OEM’s Strategic Plan)</p> <p>No Impact. The proposed project is located in an urbanized area where no wildlands exist and the property is no located within a Very High Fire Severity Zone (VHFSZ) or adjacent to wildland areas or a VHFSZ; therefore no impact regarding wildland fires either directly, indirectly or cumulatively from this project will occur.</p>				
<p>9. HYDROLOGY AND WATER QUALITY. Would the project:</p>				
a. Violate any water quality standards or waste discharge requirements?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<p>9a. Response: (Source: GP 2025 FPEIR Table 5.8-A – Beneficial Uses Receiving, GP 2025 FPEIR Figure 5.8-1)</p> <p>No Impact. The proposed project is located within the Santa Ana River Watershed. The project will not directly or indirectly result in physical alterations to the project site of a magnitude (i.e. grading, ground disturbance, structure or paving), and does not involve any use, that would have an adverse effect on water quality or be affected by water quality standards or waste discharge requirements because the project involves a 500 square foot addition to an existing library. The permeable area and impervious surface areas of the project site will not change. Therefore, the project will have no impact directly, indirectly or cumulatively to any water quality standards or waste discharge.</p>				
b. Substantially deplete groundwater supplies or interfere substantially with groundwater recharge such that there would be a net deficit in aquifer volume or a lowering of the local groundwater table level (e.g., the production rate of pre-existing nearby wells would drop to a level which would not support existing land uses or planned uses for which permits have been granted)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<p>9b. Response: (Source: General Plan 2025 Table PF-1 – RPU Projected Domestic Water Supply (AC-FT/YR), Table PF-2 – RPU Projected Water Demand, RPU Map of Water Supply Basins, RPU Urban Water Management Plan)</p>				

ISSUES (AND SUPPORTING INFORMATION SOURCES):	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
<p>No Impact. The proposed project is located within the Riverside South Water Supply Basin. The project will not directly or indirectly deplete groundwater supplies or interfere substantially with ground water recharge such that there would be a net deficit in aquifer volume or a lowering of the local groundwater table level as there are only minor physical alterations to the project site (i.e. grading, ground disturbance, structures or paving) proposed as part of the 500 square foot entry addition to the library and interior remodel. Therefore, the project will have no impact directly, indirectly or cumulatively to groundwater supplies.</p>				
<p>c. Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, in a manner which would result in substantial erosion or siltation on- or off-site?</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<p>9c. Response:</p> <p>No Impact. The project will not directly or indirectly result in physical alterations to the project site (i.e. through grading, ground disturbance, structures or paving) that would alter the existing drainage patterns of the site because the project consists of a 500 square foot addition to an existing building and no exterior site improvements on an already developed site with no net changes to the site. Therefore no erosion or siltation on- or off-site will occur. Therefore, the project will have no impact directly, indirectly or cumulatively to existing drainage patterns.</p>				
<p>d. Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, or substantially increase the rate or amount of surface runoff in a manner which would result in flooding on- or off-site?</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<p>9d. Response:</p> <p>No Impact. For same reasons in response 9c above.</p>				
<p>e. Create or contribute runoff water which would exceed the capacity of existing or planned stormwater drainage systems or provide substantial additional sources of polluted runoff?</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<p>9e. Response:</p> <p>No Impact. For same reasons in response 9c above.</p>				
<p>f. Otherwise substantially degrade water quality?</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<p>9f. Response:</p> <p>No Impact. For same reasons in response 9c above.</p>				
<p>g. Place housing within a 100-year flood hazard area as mapped on a federal Flood Hazard Boundary or Flood Insurance Rate Map or other flood hazard delineation map?</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<p>9g. Response: (Source: General Plan 2025 Figure PS-4 – Flood Hazard Areas, and FEMA Flood Hazard Maps)</p> <p>No Impact. A review of General Plan 2025 Program FPEIR Figure 5.8-2 – Flood Hazard Areas and the National Flood Insurance Rate Map (Map Number 06065C0726G Effective Date August 28, 2008) and Figure 5.8-2 – Flood Hazard Areas of the General Plan Program FPEIR, shows that the minor construction project 1) is not located within or near a 100-year flood hazard area; 2) not subject to dam inundation; and) does not involve the construction of housing. There will be no impact caused by this project directly, indirectly or cumulatively as it will not place housing within a 100-year flood hazard area.</p>				
<p>h. Place within a 100-year flood hazard area structures which would impede or redirect flood flows?</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

ISSUES (AND SUPPORTING INFORMATION SOURCES):	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
<p>9h. Response: (Source: General Plan 2025 Figure PS-4 – Flood Hazard Areas, and FEMA Flood Hazard Maps)</p> <p>No Impact. For same reasons in response 9g above.</p>				
i. Expose people or structures to a significant risk of loss, injury or death involving flooding, including flooding as a result of the failure of a levee or dam?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<p>9i. Response: (Source: General Plan 2025 Figure PS-4 – Flood Hazard Areas, and FEMA Flood Hazard Maps)</p> <p>No Impact. For same reasons in response 9g above.</p>				
j. Inundation by seiche, tsunami, or mudflow?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<p>9j. Response: (Source: GP 2025 FPEIR Chapter 7.5.8 – Hydrology and Water Quality)</p> <p>No Impact. Tsunamis are large waves that occur in coastal areas; therefore, since the City is not located in a coastal area, no impacts due to tsunamis will occur directly, indirectly or cumulatively.</p> <p>Additionally, the proposed project site and its surroundings have generally flat topography and is within an urbanized area not within proximity to Lake Mathews, Lake Evans, the Santa Ana River, Lake Hills, Norco Hills, Box Springs Mountain Area or any of the 9 arroyos which transverse the City and its sphere of influence. Therefore, no impact potential for seich or mudflow exists either directly, indirectly or cumulatively.</p>				
<p>10. LAND USE AND PLANNING:</p> <p>Would the project:</p>				
a. Physically divide an established community?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<p>10a. Response: (Source: General Plan 2025 Land Use and Urban Design Element, Project site plan, City of Riverside GIS/CADME map layers)</p> <p>No Impact. The project is an minor addition to an existing building currently served by fully improved public streets and other infrastructure and does not involve the subdivision of land or the creation of streets that could alter the existing surrounding pattern of development or an established community. Further, the project is consistent with the General Plan 2025, the Zoning Code, the Downtown Specific Plan, the Specific Plan and Citywide Design and Sign Guidelines, and the Secretary of the Interior’s Standards for the Treatment of Historic Properties. Therefore, no impact directly, indirectly or cumulatively to an established community will occur.</p>				
b. Conflict with any applicable land use plan, policy, or regulation of an agency with jurisdiction over the project (including, but not limited to the general plan, specific plan, local coastal program, or zoning ordinance) adopted for the purpose of avoiding or mitigating an environmental effect?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<p>10b. Response: (Source: General Plan 2025, General Plan 2025 Figure LU-10 – Land Use Policy Map, Table LU-5 – Zoning/General Plan Consistency Matrix, Figure LU-7 – Redevelopment Areas, Downtown Specific Plan, Title 19 – Zoning Code, Title 20 – Cultural Resources Code, Title 16 – Buildings and Construction and Citywide Design and Sign Guidelines)</p> <p>Less Than Significant Impact. The project is located within the boundaries of the Mission Inn and Seventh Street Historic Districts and the Library has been determined eligible for the California Register of Historic Places and as a City of Riverside Landmark. The project has been designed to be consistent with the applicable standards and guidelines, as mitigated to a less than significant level in accordance with the discussion and mitigation measures in Section __ above. Moreover, the project is consistent with the Downtown Specific Plan and the General Plan 2025 and it is not a project of Statewide, Regional or Areawide Significance. As such, this project will have a less than significant impact and will not</p>				

ISSUES (AND SUPPORTING INFORMATION SOURCES):	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
conflict with applicable land use plans, policies or regulations directly, indirectly or cumulatively.				
c. Conflict with any applicable habitat conservation plan or natural community conservation plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<p>10c. Response: <i>(Source: General Plan 2025, General Plan 2025 Figure LU-10 – Land Use Policy Map, Table LU-5 – Zoning/General Plan Consistency Matrix, Figure LU-7 – Redevelopment Areas, Downtown Specific Plan, Title 19 – Zoning Code, Title 20 – Cultural Resources Code, Title 16 – Buildings and Construction and Citywide Design and Sign Guidelines)</i></p>				
<p>Less Than Significant Impact. For same reasons in response 10c above.</p>				
<p>11. MINERAL RESOURCES.</p>				
<p>Would the project:</p>				
a. Result in the loss of availability of a known mineral resource that would be of value to the region and the residents of the state?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<p>11a. Response: <i>(Source: General Plan 2025 Figure – OS-1 – Mineral Resources)</i></p>				
<p>No Impact. The project does not involve extraction of mineral resources or grading activity. No mineral resources have been identified on the project site and there is no historical use of the site or surrounding area for mineral extraction purposes. The project site is not, nor is it adjacent to, a locally important mineral resource recovery site delineated in the General Plan 2025, specific plan or other land use plan. Therefore, the project will have no impact on mineral resources directly, indirectly or cumulatively.</p>				
b. Result in the loss of availability of a locally-important mineral resource recovery site delineated on a local general plan, specific plan or other land use plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<p>11b. Response: <i>(Source: General Plan 2025 Figure – OS-1 – Mineral Resources)</i></p>				
<p>No Impact. The GP 2025 FPEIR determined that there are no specific areas with the City of Sphere Area which have locally-important mineral resource recovery sites and that the implementation of the General Plan 2025 would not significantly preclude the ability to extract state-designated resources. The proposed project is consistent with the General Plan 2025. Therefore, there is no impact.</p>				
<p>12. NOISE.</p>				
<p>Would the project result in:</p>				
a. Exposure of persons to or generation of noise levels in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<p>12a. Response: <i>(Source: General Plan Figure N-1 – 2003 Roadway Noise, Figure N-2 – 2003 Freeway Noise, Figure N-3 – 2003 Railway Noise, Figure N-5 – 2025 Roadway Noise, Figure N-6 – 2025 Freeway Noise, Figure N-7 – 2025 Railroad Noise, Figure N-10 – Noise/Land Use Noise Compatibility Criteria, FPEIR Table 5.11-I – Existing and Future Noise Contour Comparison, Table 5.11-E – Interior and Exterior Noise Standards)</i></p>				
<p>No Impact. The proposed project does not involve uses or activities that would increase ambient noise levels as the project involves a 500 square foot addition and interior remodel to an existing library that has been in operation for over four decades. Construction will be of short duration and will not generate excessive noise. Standard conditions will apply that require the project to comply with all applicable codes and regulations, which include the City’s Noise Ordinance and construction hours. Therefore, the project will have no impact on the exposure of persons to or the generation of noise levels in excess of established City standards either directly, indirectly or cumulatively.</p>				

ISSUES (AND SUPPORTING INFORMATION SOURCES):	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
b. Exposure of persons to or generation of excessive groundborne vibration or groundborne noise levels?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<p>12b. Response: <i>(Source: General Plan Figure N-1 – 2003 Roadway Noise, Figure N-2 – 2003 Freeway Noise, Figure N-3 – 2003 Railway Noise, Figure N-5 – 2025 Roadway Noise, Figure N-6 – 2025 Freeway Noise, Figure N-7 – 2025 Railroad Noise, Figure N-10 – Noise/Land Use Noise Compatibility Criteria, FPEIR Table 5.11-I – Existing and Future Noise Contour Comparison, Table 5.11-E – Interior and Exterior Noise Standards, FPEIR Table 5.11-G – Vibration Source Levels For Construction Equipment, Appendix G – Noise Existing Conditions)</i></p>				
<p>No Impact. The proposed project does not involve uses or activities that would result in any exposure of persons to or generation of excessive groundborne vibration or groundborne noise levels. The project involves a 500 square foot addition and interior remodel to an existing library that has been in operation for over four decades. Construction will be of short duration and will not generate excessive noise. Standard conditions will apply that require the project to comply with all applicable codes and regulations, which include the City’s Noise Ordinance and construction hours. Therefore, the project will have no impact on the exposure of persons to the generation of excessive groundborne vibration or groundborne noise levels either directly, indirectly or cumulatively.</p>				
c. A substantial permanent increase in ambient noise levels in the project vicinity above levels existing without the project?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<p>12c. Response: <i>(Source: General Plan Figure N-1 – 2003 Roadway Noise, Figure N-2 – 2003 Freeway Noise, Figure N-3 – 2003 Railway Noise, Figure N-5 – 2025 Roadway Noise, Figure N-6 – 2025 Freeway Noise, Figure N-7 – 2025 Railroad Noise, Figure N-10 – Noise/Land Use Noise Compatibility Criteria, FPEIR Table 5.11-I – Existing and Future Noise Contour Comparison, Table 5.11-E – Interior and Exterior Noise Standards)</i></p>				
<p>No Impact. For same reasons in responses 12a and 12 b above.</p>				
d. A substantial temporary or periodic increase in ambient noise levels in the project vicinity above levels existing without the project?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<p>12d. Response: <i>(Source: FPEIR Table 5.11-J – Construction Equipment Noise Levels, Appendix G – Noise Existing Conditions Report)</i></p>				
<p>No Impact. The project does not result in a substantial temporary or periodic increase in ambient noise levels in the project vicinity above levels existing without the project, because the project involves only minor construction activities that will not result in a substantial temporary ambient noise increase; therefore, no impact to substantial temporary or periodic increase in ambient noise levels in the project vicinity will occur due to the project either directly, indirectly or cumulatively.</p>				
e. For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project expose people residing or working in the project area to excessive noise levels?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<p>12e. Response: <i>(Source: General Plan 2025 Figure N-8 – Riverside and Flabob Airport Noise Contours, Figure N-9 – March ARB Noise Contour, Figure N-10 – Noise/Land Use Noise Compatibility Criteria, RCALUCP, March Air Reserve Base/March inland Port Comprehensive Land Use Plan (1999))</i></p>				
<p>No Impact. The proposed project is not located within an airport land use plan or within two miles of a public airport or public use airport and as such will have no impact on people residing or working in the project area to excessive noise levels either directly, indirectly or cumulatively.</p>				
f. For a project within the vicinity of a private airstrip, would the project expose people residing or working in the project area to excessive noise levels?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

ISSUES (AND SUPPORTING INFORMATION SOURCES):	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
<p>12f. Response: (Source: General Plan 2025 Figure PS-6 – Airport Safety Zones and Influence Areas, RCALUCP, March Air Reserve Base/March Inland Port Comprehensive Land Use Plan (1999) and Air Installation Compatible Use Zone Study for March Air Reserve Base (August 2005))</p>				
<p>No Impact. Per the GP 2025 Program FPEIR, there are no private airstrips within the City that would expose people working or residing in the City to excessive noise levels. Because the proposed project consists of development anticipated under the General Plan 2025, is not located within proximity of a private airstrip, and does not propose a private airstrip, the project will not expose people residing or working in the City to excessive noise levels related to a private airstrip and would have no impact directly, indirectly or cumulatively.</p>				
<p>13. POPULATION AND HOUSING.</p>				
<p>Would the project:</p>				
<p>a. Induce substantial population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure)?</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<p>13a. Response: (Source: General Plan 2025 Table LU-3 – Land Use Designations, FPEIR Table 5.12-A – SCAG Population and Households Forecast, Table 5.12-B – General Plan Population and Employment Projections–2025, Table 5.12-C – 2025 General Plan and SCAG Comparisons, Table 5.12-D - General Plan Housing Projections 2025, Capital Improvement Program and SCAG’s RCP and RTP)</p>				
<p>No Impact. The project is in an urbanized area and does not propose new homes or businesses that would directly induce substantial population growth, and does not involve the addition of new roads or infrastructure that would indirectly induce substantial population growth because the project consists of a minor addition and remodel of a library that already exists and serves the community. Therefore, this project will have no impact on population growth either directly or indirectly.</p>				
<p>b. Displace substantial numbers of existing housing, necessitating the construction of replacement housing elsewhere?</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<p>13b. Response: (Source: CADME Land Use 2003 Layer)</p>				
<p>No Impact. The project will not displace existing housing, necessitating the construction of replacement housing elsewhere because the project site is an already developed site that has no existing housing that will be removed or affected by the proposed project. Therefore, there will be no impact on existing housing either directly, indirectly or cumulatively.</p>				
<p>c. Displace substantial numbers of people, necessitating the construction of replacement housing elsewhere?</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<p>13c. Response: (Source: CADME Land Use 2003 Layer)</p>				
<p>No Impact. The project will not displace any people, necessitating the construction of replacement housing elsewhere because the project site is an already developed site that has no existing housing or residents that will be removed or affected by the proposed project. Therefore, this project will have no impact on people, necessitating the need for replacement housing either directly, indirectly or cumulatively.</p>				

ISSUES (AND SUPPORTING INFORMATION SOURCES):	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
14. PUBLIC SERVICES.				
<p>Would the project result in substantial adverse physical impacts associated with the provision of new or physically altered governmental facilities, need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the public services:</p>				
a. Fire protection?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<p>14a. Response: (Source: FPEIR Table 5.13-B – Fire Station Locations, Table 5.13-C – Riverside Fire Department Statistics and Ordinance 5948 § 1)</p>				
<p>No Impact. The project is in an urbanized area within an existing building that will only be improved with a minor addition and interior remodel. Adequate fire facilities and services are provided by Station #1 located at 3420 Mission Inn Ave to serve this project. Therefore, this project will not result in the intensification of land use and there will be no impact on the demand for additional fire facilities or services either directly, indirectly or cumulatively.</p>				
b. Police protection?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<p>14b. Response: (Source: General Plan 2025 Figure PS-8 – Neighborhood Policing Centers)</p>				
<p>No Impact. The project is in an urbanized area within an existing building that will only be improved with a minor addition and interior remodel. Adequate police facilities and services are provided by Downtown Police Station located at 4102 Orange Street to serve this project. Therefore, this project will not result in the intensification of land use and there will be no impact on the demand for additional police facilities or services either directly, indirectly or cumulatively.</p>				
c. Schools?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<p>14c. Response:</p>				
<p>No Impact. The project is a non-residential use that will not involve the addition of any housing units that would increase numbers of school age children. Therefore, there will be no impact on the demand for additional school facilities or services either directly, indirectly or cumulatively.</p>				
d. Parks?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<p>14d. Response: (Source: General Plan 2025 Figure PR-1 – Parks, Open Spaces and Trails, Table PR-4 – Park and Recreation Facilities, Parks Master Plan 2003, GP 2025 FPEIR Table 5.14-A – Park and Recreation Facility Types, and Table 5.14-C – Park and Recreation Facilities Funded in the Riverside Renaissance Initiative)</p>				
<p>No Impact. The project is a non-residential use that will not involve the addition of any housing units that would increase the population. Therefore, there will be no impact on the demand for additional park facilities or services either directly, indirectly or cumulatively.</p>				
e. Other public facilities?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<p>14e. Response: (Source: General Plan 2025 Figure LU-8 – Community Facilities, FPEIR Figure 5.13-5 - Library Facilities, Figure 5.13-6 - Community Centers, Table 5.3-F – Riverside Community Centers, Table 5.13-H – Riverside Public Library Service Standards)</p>				
<p>No Impact. The project is in an urbanized area within an existing building that will only be improved with a minor addition and interior remodel. Adequate public facilities and services are provided, and the project is one of those facilities. The project could be argued to result in a positive effect through the operational and programming improvements that will result from the interior remodel. Therefore, this project will not result in the intensification of land use and there will be no impact on the demand for additional public facilities or services either directly, indirectly or cumulatively.</p>				

ISSUES (AND SUPPORTING INFORMATION SOURCES):	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
15. RECREATION.				
a. Would the project increase the use of existing neighborhood and regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
15a. Response: No Impact. The project will not result in an intensification of land use and therefore, there will be no impact on the demand for additional recreational facilities either directly, indirectly or cumulatively.				
b. Does the project include recreational facilities or require the construction or expansion of recreational facilities which might have an adverse physical effect on the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
15b. Response: No Impact. The project will not include new recreational facilities or require the construction or expansion of recreational facilities; therefore, there will be no impact directly, indirectly or cumulatively.				
16. TRANSPORTATION/TRAFFIC.				
Would the project result in:				
a. Conflict with an applicable plan, ordinance or policy establishing measures of effectiveness for the performance of the circulation system, taking into account all modes of transportation including mass transit and non-motorized travel and relevant components of the circulation system, including but not limited to intersections, streets, highways and freeways, pedestrian and bicycle paths, and mass transit?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
16a. Response: No Impact. The project site is located on a previously developed/improved site where no increase in intensity of use resulting in any measurable increase in traffic would occur and therefore no impact directly, indirectly or cumulatively to the capacity of the existing circulation system will occur.				
b. Conflict with an applicable congestion management program, including but not limited to level of service standards and travel demand measures, or other standards established by the county congestion management agency for designated roads or highways?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
16b. Response: <i>(Source: General Plan 2025 Figure CCM-4 – Master Plan of Roadways, FPEIR Figure 5.15-4 – Volume to Capacity (V/C) Ratio and Level of Service (LOS) (Typical 2025), Table 5.15-D – Existing and Future Trip Generation Estimates, Table 5.15-H – Existing and Typical Density Scenario Intersection Levels of Service, Table 5.15-I – Conceptual General Plan Intersection Improvement Recommendations, Table 5.15-J – Current Status of Roadways Projected to Operate at LOS E or F in 2025, Table 5.15.-K – Freeway Analysis Proposed General Plan, Appendix H – Circulation Element Traffic Study and Traffic Study Appendix, SCAG’s RTP)</i>				
No Impact. The project site does not include a state highway or principal arterial within Riverside County’s Congestion Management Program (CMP) and the project is consistent with the Transportation Demand Management/Air Quality components of the Program; therefore, there is no impact either directly, indirectly or cumulatively to the CMP.				

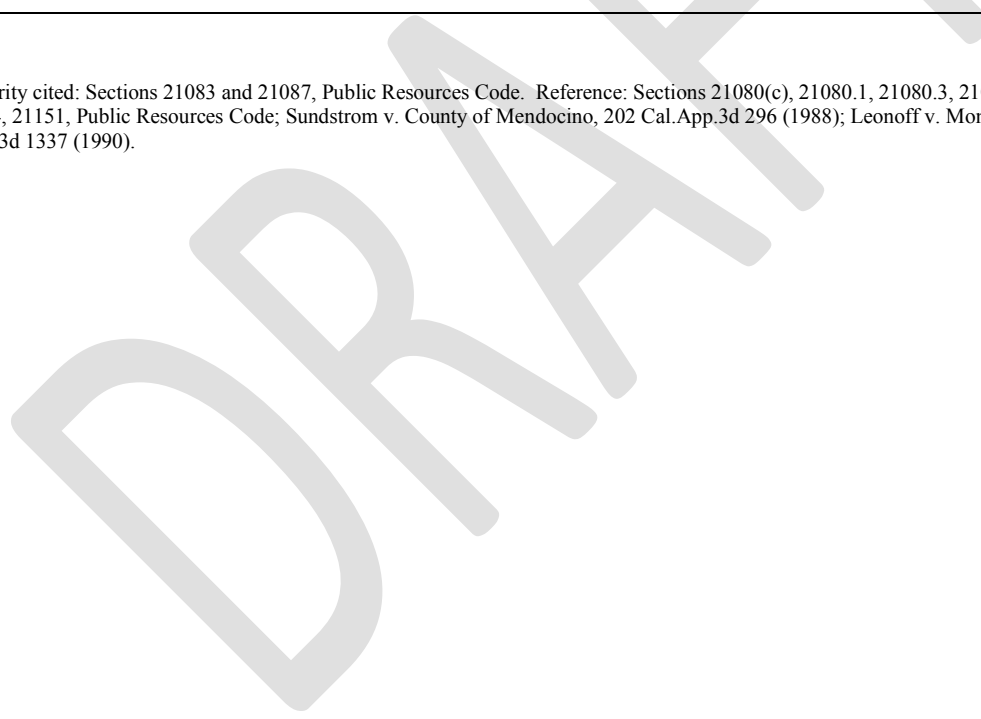
ISSUES (AND SUPPORTING INFORMATION SOURCES):	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
c. Result in a change in air traffic patterns, including either an increase in traffic levels or a change in location that results in substantial safety risks?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<p>16c. Response:</p> <p>No Impact. The project will not change air traffic patterns, increase air traffic levels or change the location of air traffic patterns. It is not located within an airport influence area. As such, this project will have no impact directly, indirectly or cumulatively on air traffic patterns.</p>				
d. Substantially increase hazards due to a design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g., farm equipment)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<p>16d. Response:</p> <p>No Impact. The project is located on a site that is currently developed, with all site improvements in place, and where no site modifications will occur that would result in hazards due to design features such as driveways, intersection improvements, etc.. In addition, the proposed use is compatible with other uses on the site. As such, the project will have no impact on increasing hazards through design or incompatible uses either directly, indirectly or cumulatively.</p>				
e. Result in inadequate emergency access?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<p>16e. Response: (Source: California Department of Transportation Highway Design Manual, Municipal Code, and Fire Code)</p> <p>No Impact. The project is located on a site that is currently developed, with all site improvements in place, and where no site modifications are proposed that would affect emergency access; therefore there will be no impact directly, indirectly or cumulatively to emergency access.</p>				
f. Conflict with adopted policies, plans or programs regarding public transit, bicycle, or pedestrian facilities, or otherwise decrease the performance or safety of such facilities)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<p>16f. Response: (Source: FPEIR, General Plan 2025 Land Use and Urban Design, Circulation and Community Mobility and Education Elements, Bicycle Master Plan, School Safety Program – Walk Safe! – Drive Safe!)</p> <p>No Impact. The project is located on a site that is currently developed, with all site improvements in place, and where no site modifications will occur that would result in conflicts with adopted policies, plans or programs supporting alternative transportation (e.g. bus turnouts, bicycle racks). As such, the project will have no impact directly, indirectly or cumulatively on adopted policies, plans, or programs supporting alternative transportation.</p>				
<p>17. UTILITIES AND SYSTEM SERVICES.</p> <p>Would the project:</p>				
a. Exceed wastewater treatment requirements of the applicable Regional Water Quality Control Board?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<p>17a. Response:</p> <p>No Impact. The project will not exceed wastewater treatment requirements of the Regional Water Quality Control Board (RWQCB). The project is located on a site that is currently developed, with all site improvements in place, and where no site modifications are proposed that would affect wastewater treatment; therefore there will be no impact directly, indirectly or cumulatively to wastewater treatment.</p>				
b. Require or result in the construction of new water or wastewater treatment facilities or expansion of existing facilities, the construction of which could cause significant	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

ISSUES (AND SUPPORTING INFORMATION SOURCES):	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
environmental effects?				
<p>17b. Response: (Source: General Plan 2025 Table PF-1 – RPU PROJECTED DOMESTIC WATER Supply (AC-FT/YR), Table PF-2 – RPU Projected Water Demand, FPEIR Table 5.16-G – General Plan Projected Water Demand for RPU Including Water Reliability for 2025, Table 5.16-K - Estimated Future Wastewater Generation for the City of Riverside’s Sewer Service, Figure 5.16-4 – Water Facilities and Figure 5.16-6 – Sewer Infrastructure and Wastewater Integrated Master Plan and Certified EIR)</p> <p>No Impact. The project will not result in the construction of new or expanded water or wastewater treatment facilities. The project is consistent with the Typical Growth Scenario of the General Plan 2025 where future water and wastewater generation was determined to be adequate (see Tables 5.16-E, 5.16-F, 5.16-G, 5.16-H, 5.16-I, 5.16-J and 5.16-K of the General Plan 2025 Final PEIR). Therefore, the project will have no impact resulting in the construction of new water or wastewater treatment facilities or the expansion of existing facilities directly, indirectly or cumulatively.</p>				
<p>c. Require or result in the construction of new storm water drainage facilities or expansion of existing facilities, the construction of which could cause significant environmental effects?</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<p>17c. Response: (Source: FPEIR Figure 5.16-2 - Drainage Facilities)</p> <p>No Impact. The project is located on a previously developed/improved site within an urbanized area where no increase in impervious surfaces will occur that would require or result in the construction of new storm water drainage facilities or expansion of existing facilities. Therefore, the project will have no impact resulting in the construction of new storm water drainage facilities or the expansion of existing facilities directly, indirectly or cumulatively.</p>				
<p>d. Have sufficient water supplies available to serve the project from existing entitlements and resources, or are new or expanded entitlements needed?</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<p>17d. Response: (Source: FPEIR Figure 5.16-3 – Water Service Areas, Figure 5.16-4 – Water Facilities, Table 5.16-E – RPU Projected Domestic Water Supply (AC-FT/YR, Table 5.16-F – Projected Water Demand, Table 5.16-G – General Plan Projected Water Demand for RPU including Water Reliability for 2025, RPU Master Plan)</p> <p>No Impact. The project will not exceed expected water supplies. The project is consistent with the General Plan 2025 Typical Growth Scenario where future water supplies were determined to be adequate (see Tables 5.16-E, 5.16-F, 5.16-G, 5.16-H, 5.16-I and 5.16-J of the General Plan 2025 Final PEIR). Therefore, the project will have no impact resulting in the insufficient water supplies either directly, indirectly or cumulatively.</p>				
<p>e. Result in a determination by the wastewater treatment provider which serves or may serve the project that it has adequate capacity to serve the project’s projected demand in addition to the provider’s existing commitments?</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<p>17e. Response: (Source: FPEIR Figure 5.16-5 - Sewer Service Areas, Figure 5.16-6 -Sewer Infrastructure, Table 5.16-K - Estimated Future Wastewater Generation for the City of Riverside’s Sewer Service Area, Wastewater Integrated Master Plan and Certified EIR)</p> <p>No Impact. The project will not exceed wastewater treatment requirements of (Regional Water Quality Control Board). The project is consistent with the General Plan 2025 Typical Growth Scenario where future wastewater generation was determined to be adequate (see Table 5.16-K of the General Plan 2025 Final PEIR). Further, the current Wastewater Treatment Master Plan anticipates and provides for this type of project. Therefore, no impact to wastewater treatment directly, indirectly or cumulatively will occur.</p>				
<p>f. Be served by a landfill with sufficient permitted capacity to accommodate the project’s solid waste disposal needs?</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<p>17f. Response: (Source: FPEIR Table 5.16-A – Existing Landfills and Table 5.16-M – Estimated Future Solid Waste Generation from the Planning Area)</p>				

ISSUES (AND SUPPORTING INFORMATION SOURCES):	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
<p>No Impact. The project is consistent with the General Plan 2025 Typical Build-out Project level where future landfill capacity was determined to be adequate (see Tables 5.16-A and 5.16-M of the General Plan 2025 Final PEIR). Therefore, no impact to landfill capacity will occur directly, indirectly or cumulatively.</p>				
g. Comply with federal, state, and local statutes and regulations related to solid waste?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<p>17g. Response: (Source: California Integrated Waste Management Board 2002 Landfill Facility Compliance Study)</p>				
<p>No Impact. The California Integrated Waste Management Act under the Public Resource Code requires that local jurisdictions divert at least 50% of all solid waste generated by January 1, 2000. The City is currently achieving a 60% diversion rate, well above State requirements. In addition, the California Green Building Code requires all developments to divert 50% of non-hazardous construction and demolition debris for all projects and 100% of excavated soil and land clearing debris for all non-residential projects beginning January 1, 2011. The proposed project must comply with the City's waste disposal requirements as well as the California Green Building Code and as such would not conflict with any Federal, State, or local regulations related to solid waste. Therefore, no impacts related to solid waste statutes will occur directly, indirectly or cumulatively.</p>				
<p>18. MANDATORY FINDINGS OF SIGNIFICANCE.</p>				
a. Does the project have the potential to degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare or an endangered plant or animal or eliminate important examples of the major periods of California history or prehistory?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<p>18a. Response: (Source: General Plan 2025 – Figure OS-6 – Stephen's Kangaroo Rat (SKR) Core Reserve and Other Habitat Conservation Plans (HCP), Figure OS-7 – MSHCP Cores and Linkages, Figure OS-8 – MSHCP Cell Areas, General Plan 2025 FPEIR Figure 5.4-2 – MSHCP Area Plans, Figure 5.4-4 - MSHCP Criteria Cells and Subunit Areas, Figure 5.4-6 – MSHCP Narrow Endemic Plant Species Survey Area, Figure 5.4-7 – MSHCP Criteria Area Species Survey Area, Figure 5.4-8 – MSHCP Burrowing Owl Survey Area, MSHCP Section 6.1.2 - Protection of Species Associated with Riparian/Riverine Areas and Vernal Pools, FPEIR Table 5.5-A Historical Districts and Neighborhood Conservation Areas, Figure 5.5-1 - Archaeological Sensitivity, Figure 5.5-2 - Prehistoric Cultural Resources Sensitivity, Appendix D, Title 20 of the Riverside Municipal Code, and Page and Turnbull's Riverside Library Secretary of The Interior's Rehabilitation Standards Review, draft dated March 2013)</p>				
<p>Less Than Significant with Mitigation. Potential impacts related to habitat of fish or wildlife species were discussed in the Biological Resources Section of this Initial Study, and were all found to be less than significant. Additionally, potential impacts to cultural, archaeological and paleontological resources related to major periods of California and the City of Riverside's history or prehistory were discussed in the Cultural Resources Section of this Initial Study, and were found to be less than significant with mitigation.</p>				
b. Does the project have impacts that are individually limited, but cumulatively considerable? ("Cumulatively considerable" means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, the effects of other current projects, and the effects of probable future projects)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<p>18b. Response: (Source: FPEIR Section 6 – Long-Term Effects/ Cumulative Impacts for the General Plan 2025 Program)</p>				

ISSUES (AND SUPPORTING INFORMATION SOURCES):	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
<p>Less Than Significant Impact. Because the project is consistent with the General Plan 2025, no new cumulative impacts are anticipated and therefore cumulative impacts of the proposed project beyond those previously considered in the GP 2025 FPEIR are less than significant.</p>				
<p>c. Does the project have environmental effects which will cause substantial adverse effects on human beings, either directly or indirectly?</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<p>18c. Response: (Source: FPEIR Section 5 – Environmental Impact Analysis for the General Plan 2025 Program)</p> <p>Less Than Significant Impact. Effects on human beings were evaluated as part of the aesthetics, air quality, hydrology & water quality, noise, population and housing, hazards and hazardous materials, and traffic sections of this initial study and found to be less than significant for each of the above sections. Based on the analysis and conclusions in this initial study, the project will not cause substantial adverse effects, directly or indirectly to human beings. Therefore, potential direct and indirect impacts on human beings that result from the proposed project are less than significant.</p>				

Note: Authority cited: Sections 21083 and 21087, Public Resources Code. Reference: Sections 21080(c), 21080.1, 21080.3, 21082.1, 21083, 21083.3, 21093, 21094, 21151, Public Resources Code; Sundstrom v. County of Mendocino, 202 Cal.App.3d 296 (1988); Leonoff v. Monterey Board of Supervisors, 222 Cal.App.3d 1337 (1990).



Staff Recommended Mitigation Measures

Impact Category	Mitigation Measures	Implementation Timing	Responsible Monitoring Party ¹	Monitoring/Reporting Method
<p>Cultural Resources</p>	<p>MM Cultural 1: Prior to the issuance of building permits, the applicant shall submit for review and obtain the approval of CHB staff for detailed architectural drawings that are consistent with the Secretary of e Interior’s Standards and show the following:</p> <p>a. Elimination of the solid deck, railing and doors above the exterior lobby entry projection.</p> <p>b. Details of the wall-to-wall connection of the lobby entry projection to the existing face of the building, showing a notch in as sketched in the Page & Turnbull SOIS memo to clearly differentiate the new construction.</p> <p>c. Design of the lobby entry projection to appear as light, transparent and seamless as possible along the front and sides, and ceiling/roof with, if feasible, incorporation of skylights, laylights or structural glass that will allow for natural illumination.</p> <p>d. Details of the windows to be installed behind the existing decorative concrete screen panels. Window edges are to be set back from the edges of the screens so as to be minimally visible.</p> <p>e. Details of the replacement exterior handrail to be simple and modern for maximum compatibility with the New Formalism style of the Library.</p> <p>f. View simulation and details showing that the main roof-top deck railing is adequately set</p>	<p>Prior to the issuance of a demolition and/or building permit.</p>	<p>Planning Division</p>	<p>Compliance with Project Conditions of Approval via plancheck and inspections.</p>

¹ All agencies are City of Riverside Departments/Divisions unless otherwise noted.

Impact Category	Mitigation Measures	Implementation Timing	Responsible Monitoring Party ¹	Monitoring/Reporting Method
	<p>back from the edges of the existing roof; is the minimum guard rail height required by the Uniform Building Code; is of a simple and modern design compatible with the Library; and is not visible from street view sight lines.</p> <p>g. That any skylights on the main roof are flush with the roof or low profile, and located, so as not to be visible from street view sight lines.</p> <p>h. Preservation of the existing canopy roof continuing to the interior, with preservation of the clustered globe lights.</p> <p>i. Replacement of the original four trees directly in front of the Library with the same or similar but smaller species that will have a similar form but not cause root damage or obscure views of the Library.</p> <p>j. That to the extent feasible, the applicant has worked with CHB staff regarding the retention of key spatial relationships, features and/or materials that help convey the character of the Main Library, to balance operational and preservation goals.</p>			